



**City of Harrisburg
Variance and Special Exception Application**

*Note: The Planning Bureau will review all applications for completeness; incomplete applications may cause a delay in processing.
Contact Ben Schmidt at 717-255-6408 or brschmidt@cityofhbg.com with any questions.*

Primary Property Address	Zoning District
100 N 13th Street, Harrisburg, PA 17103	Residential Mid-Density

Two or More Parcels? Yes No
Please list the additional property addresses and parcel numbers:
112 N 13th St. (08-025-049)

Application Type:
Special Exception
 Variance
 Combo (Variance & Sp. Ex.)

Explain what you want to accomplish and the reason why the request for a special exception and/or variance should be granted (use additional sheets if necessary). Be specific. The following criteria must be addressed in detail and submitted with the application. The criteria for special exception requests are the basis of the Zoning Hearing Board’s ruling and are taken from Section 7-323.6 of the 2014 Zoning Code. The criteria for variance requests are the basis of the Zoning Hearing Board’s ruling and are taken from Section 7-323.7 of the 2014 Zoning Code and Section 912 (53 P.S. Section 10912) of the PA Municipalities Code.

Criteria for Special Exception Requests

1. What do you want to do and why? A SPECIAL EXCEPTION FOR CHANGE OF USE:

CHRIS DAWSON ARCHITECT IS WORKING W/ DEVELOPER GREG RADON ON THE REHABILITATION OF THIS VACANT 11,500 SF INDUSTRIAL WAREHOUSE BUILDING DATING TO 1940 AT THE CORNER OF WALNUT & 13TH STREETS IN AN EFFORT TO ADD 12 AFFORDABLE HOUSING UNITS TO THE HARRISBURG HOUSING MARKET.
2. What is the property’s current use or, if vacant, what was it used as when it was occupied?

VACANT. FORMER INDUTRIAL WAREHOUSE BUILDING.



3. Describe the ingress and egress to the property and existing and proposed structures thereon, with particular attention paid to automotive and pedestrian safety, as well as emergency vehicle access; traffic generation, flow and control relative to existing and future vehicular capacity or nearby public rights of way.

There is currently no vehicular access onto the property. Proposed plans include utilizing neighboring

sites already owned to created off-site parking and vehicular access. (reverse subdivision to be forthcoming)

4. How many off-street parking spaces are being provided? Does this meet the minimum requirements of the code?

There are currently no off-street parking spaces on the property. Proposed plans include utilizing neighboring

site already owned (reverse subdivision to be forthcoming) to create 13 off-site parking spaces. (

5. Does the proposed use involve a public safety hazard (i.e. fire, toxic, or explosive hazards)?

No

6. Describe any new utilities (water, gas, electricity, steam) being provided as part of this project. Have they received clearance from the appropriate authority?

7. Does the project involve site plan designs – including landscaping, plant screening, walls, berms, fences; the placement, direction, and shielding of exterior lighting; and/or trash/refuse/compost areas? If yes, please describe. A landscaping plan may be required.

YES - PROPOSED FENCING FOR NEW OFF-STREET PARKING AREA.

8. Will there be any new, improved, or additional signage on the property? If so, please describe the sign(s) and, if possible, provide a color rendering and specifications. Will the sign (type, size, and location) meet the applicable requirements of the code?



9. New or expanded structures are to meet all applicable front, side, and rear yard setback requirements. Can these requirements be met? What are the size, bulk, use and other characteristics of the project in relation to adjacent properties and the neighborhood in general? Please describe.

N/A

10. Will the proposed use comply with Environmental Performance Standards in Chapter 7-331?

YES

11. If this request involves establishing a business, please submit a copy of your business plan including: Who are your customers? What are the hours of operation for the business?

N/A

12. Will the proposed use have an adverse impact on the character of a residential neighborhood, such as generating heavy truck traffic or creating noise or odors? Does the neighborhood support the project? Please submit any evidence of neighborhood support, such as a petition or letter of support from a neighborhood group.

NO

Criteria for Variance Requests

1. Are there unique physical circumstances or conditions peculiar to the particular property and are the unnecessary hardship(s) due to such conditions and not the circumstances or conditions generally created by the provisions of the zoning ordinance?

VARIANCE FOR ENCROACHMENT OF THE PARKING AREA INTO REAR AND FRONT YARD SETBACKS.

VARIANCE FOR RELIEF FROM THE LANDSCAPING REQUIREMENTS FOR PARKING LOTS

OUTLINED IN SECTION 7-307.12



2. In light of physical circumstances or conditions, is there any possibility that the property can be developed in strict conformity with the provisions of the Zoning Code?

YES, AT THE EXPENSE OF THE OFF STREET PARKING COUNT.

3. Has the applicant created an unnecessary hardship?

NO, THE APPLICANT IS WORKING HARD TOWARDS THE BEST OUTCOME (RENOVATING A BLIGHTED BUILDING TO CREATE AFFORDABLE HOUSING & ASSOCIATED PARKING).

4. Would the variance, if granted, alter the essential character of the neighborhood or zoning district, substantially impair the appropriate use or development of adjacent property, or be detrimental to the public welfare?

NO

5. Would the variance, if granted, represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue?

YES

Applicant

Name Gregory Radon

Company Radon Construction

Address 4704 Richmond Street
Philadelphia, PA 19137

Phone 609-605-3891

Email radonconstruction@outlook.com

Applicant's Status

(Check One)

Owner

Lessee

Equitable Owner

Contract Purchaser



Main Contact for the Project

Name Chris Dawson, AIA
Company Chris Dawson Architect
Address 300 N 2nd Street, Suite 701
Harrisburg, PA 17101
Phone 717-805-5090
Email chris@chrisdawsonarchitect.com

Site Plan Designer (if applicable)

Name _____
Company _____
Address _____
Phone _____
Email _____

Property Owner

Name Gregory Radon
Company Radon Construction
Address 4704 Richmond Street
Philadelphia, PA 19137
Phone 609-605-3891
Email radonconstruction@outlook.com



Items To Be Submitted With Application (Failure to do so WILL delay the review process:

- Check made payable to the "City Treasurer" for the correct amount (see the fee schedule)
- Proof of legal standing, including: 1) the deed if you are the property owner; or 2) a lease, option to lease, purchase agreement, or some other legal document demonstrating that you have an agreement with the property owner giving you some interest in the property; you will also need to submit the property deed.
- Scale drawings (either 8.5x11 or 11x17) of the existing property and/or building (**12 copies**)
- Scale drawings (either 8.5x11 or 11x17) of the proposed change(s) (**12 copies**)
- Photographs of the existing conditions of the property

APPLICANT / OWNER CERTIFICATION

I hereby certify that the proposed work is authorized by the owner of record and that I agree to conform to all applicable laws of this jurisdiction. I understand that any falsification could lead to denial or criminal penalties, or revocation of any permit pursuant to this application. I agree that work will not begin before receiving final approval.

01-08-21

Applicant's Signature

Date

01-08-21

Property Owner's Signature

Date

The owner must sign this application. The applicant signature is required when different from owner.

100 N 13TH STREET RENOVATIONS - AFFORDABLE HOUSING

ALLISON HILL, HARRISBURG

CDA CHRIS DAWSON ARCHITECT

300 North 2nd Street, Suite 701
Harrisburg, PA 17101
717-805-5090
chris@chrisdawsonarchitect.com
www.chrisdawsonarchitect.com



PROPOSED PERSPECTIVE VIEW

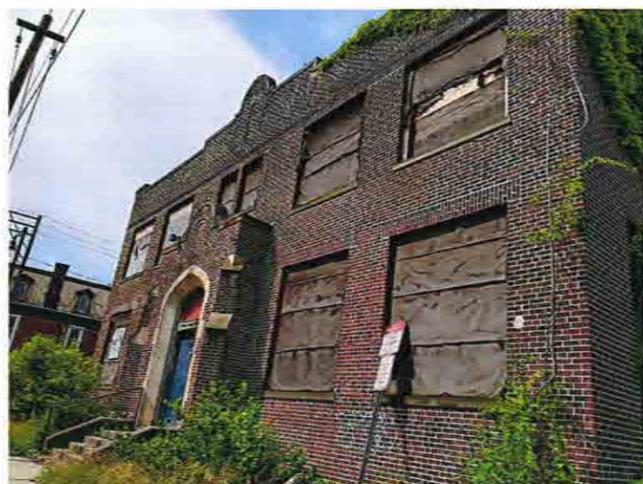
DRAWING INDEX - ARCHITECTURAL	
SHEET NUMBER	SHEET NAME
GENERAL	
CS1	COVER SHEET
CS2	GENERAL NOTES, SYMBOL LEGEND, ABBREVIATIONS
LS101	CODE REVIEW SUMMARY
LS102	CODE REVIEW SUMMARY & COMPLIANCE CERTIFICATES
LS103	U RATED WALL ASSEMBLY
SP101	SPECIFICATIONS
ARCHITECTURE	
AD101	BASEMENT - DEMO PLAN
AD102	GROUND FLOOR - DEMO PLAN
AD103	SECOND FLOOR - DEMO PLAN
AD104	EXTERIOR ELEVATIONS - DEMO
A001	ARCHITECTURAL SITE PLAN
A101	BASEMENT FLOOR PLAN
A102	GROUND FLOOR PLAN
A103	SECOND FLOOR PLAN
A104	GROUND FLOOR - REFLECTED CEILING PLAN
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A106	ROOF PLAN
A201	EXTERIOR ELEVATIONS
A301	BUILDING SECTIONS
A302	WALL SECTIONS
A401	STAIRS
A402	ENLARGED TYPICAL UNIT PLANS
A403	ENLARGED TYPICAL UNIT ELEVATIONS & PERSPECTIVES
A404	ENLARGED TYPICAL BATHROOM
A405	ENLARGED TYPICAL KITCHEN
A406	ENLARGED LOBBY
A407	SOUTH ENTRANCE
A501	DOOR SCHEDULE
A502	DOOR SCHEDULE
A503	DOOR DETAILS
A504	WINDOW SCHEDULE, TYPES, DETAILS
A505	PARTITION TYPES
A901	RENDERINGS
A903	DIGITAL FINISH BOARD

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ARCHITECT
Chris Dawson Architect
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717-805-5090
chris@chrisdawsonarchitect.com

No.	Description	Date

100 N. 13TH ST. COVER SHEET



EXISTING EXTERIOR



EXISTING INTERIOR

1/8/2021 PROGRESS
NOT FOR CONSTRUCTION

Project Number	2020.0113
Date	NFC
Drawn By	VS
Checked By	CDD

CS1

Scale

GENERAL NOTES

1. THE WORK INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR AND REASONABLY INCIDENTAL TO THE COMPLETION IN PLACE OF ALL WORK AS ILLUSTRATED AND DESCRIBED ON THE DRAWINGS AS PREPARED BY CHRIS DAWSON ARCHITECT. ALL SUCH WORK IS TO BE DONE BY THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
2. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND SHALL NOTIFY THE ARCHITECT OF ANY OMISSIONS, DISCREPANCIES, AND/OR CONFLICTS PRIOR TO CONSTRUCTION/INSTALLATION. INTERIOR DIMENSIONS ARE TO FACE OF GYPSUM WALLBOARD, FACE OF CMU OR FACE OF EXISTING FINISH WHERE APPLICABLE.
3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COMPLETE THIS PROJECT IN COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT AND ALL CITY, STATE AND LOCAL CODES, INCLUDING THE PREPARATION AND APPROVAL BY LOCAL AUTHORITIES OF ALL MECHANICAL, ELECTRICAL, PLUMBING, FIRE ALARM SYSTEM, SPRINKLER PLANS AND SPECIFICATIONS.
4. GENERAL CONTRACTOR SHALL OBTAIN FULL AND COMPLETE WARRANTIES FOR ALL HVAC, ELECTRICAL AND PLUMBING EQUIPMENT FROM THE CONTRACTOR PROVIDING SAID SERVICES. WARRANTIES WILL REMAIN IN EFFECT A MINIMUM OF ONE (1) YEAR FROM SUBSTANTIAL COMPLETION DATE.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND REVIEWING ALL SHOP DRAWINGS AND/OR STRUCTURAL ERECTION DRAWINGS BEFORE SUBMISSION TO THE ARCHITECT/STRUCTURAL ENGINEER.
6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL REQUIRED BUILDING PERMITS AND OBTAINING A CERTIFICATE OF OCCUPANCY FROM THE GOVERNING AUTHORITY.
7. WHERE COLOR AND DESIGN SELECTIONS ARE REQUIRED, THE GENERAL CONTRACTOR SHALL SUBMIT SAMPLES TO THE OWNER FOR SELECTION AND APPROVAL. AFTER COMPLETION OF THE PROJECT, A MINIMUM OF 2 CASES, OR 5% OF PRODUCT FINISHES TO BE LEFT AT THE JOB SITE.
8. GENERAL CONTRACTOR SHALL HAVE DIRECT CONTROL AND MANAGEMENT OF ALL CONSTRUCTION OPERATIONS AND BE RESPONSIBLE FOR THE SATISFACTORY OVERALL PERFORMANCE OF HIS SUPPLIERS AND SUBCONTRACTORS AS WELL AS ALL ASSIGNED CONTRACTORS.
9. GENERAL CONTRACTOR IS TO RECEIVE, HANDLE, STORE (IF NECESSARY) AND BE RESPONSIBLE FOR ALL MATERIALS PROVIDED BY OTHERS
10. ALL MATERIALS USED IN CONSTRUCTION SHALL BE NEW AND OF FIRST QUALITY UNLESS OTHERWISE NOTED
11. GYPSUM WALLBOARD SHALL BE INSTALLED WITH ALL CORNER BEADS, TRIM ACCESSORIES AND MOLDING, ETC. FOR A COMPLETE INSTALLATION. GYPSUM WALLBOARD TO BE TAPED AND SAIDED (READY FOR PAINT). DRYWALL CONTRACTOR TO INSTALL CONTROL JOINTS ACCORDING TO INDUSTRY STANDARDS. ALL FULL HEIGHT STEEL STUD PARTITIONS MUST INCLUDE A TOP SLIP TRACK IF WALL IS SECURED TO ROOF STRUCTURE.
12. GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
13. GENERAL CONTRACTOR SHALL COORDINATE THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND REPORT TO THE ARCHITECT ANY UNFORESEEN CONFLICTS BETWEEN THE SUB TRADES.
14. ITEMS AND CONDITIONS NOTED ON DETAILS ARE APPLICABLE AND BINDING TO SIMILAR CONDITIONS ON ALL THE DRAWINGS. FOR CONDITIONS NOT NOTED ON DETAILS, CONTRACTOR SHALL PROVIDE MATERIALS OF EQUAL QUALITY AND PERFORMANCES TO OTHER SIMILAR CONDITIONS ON THE JOB.
15. WALL AND CEILING FINISHES SHALL INCLUDE PROJECTIONS, BEAM ENCLOSURES, RECESSES, BULKHEADS, PILASTERS OR OTHER ENCLOSURES.
16. ALL APPURTENANCES BUILT INTO OR THROUGH WALLS, INCLUDING DOORS, DUCTS, WINDOWS, LOUVERS, GRILLES, MECHANICAL WORKS, ETC. SHALL FIT SNUGLY AND BE THOROUGHLY SEALED AROUND PERIMETERS. WORK AT EXTERIOR WALLS SHALL BE FLASHED OR OTHERWISE WATERPROOF SEALED.
17. FIELD CHECK ROUGH AND/OR FINISHED DIMENSIONS FOR ACCURATE FITTING OF CABINETS, COUNTERTOPS, LOCKERS, DOORS, WINDOWS, FIXTURES, SHELVING, GATES AND OTHER INSTALLATIONS PRIOR TO SHOP OR FACTORY FABRICATIONS. PROVIDE AND INSTALL NECESSARY FILLER STRIPS, SCRIBE STRIPS, BASES, CLOSURES, FINISHES AND TRIM TO COMPLETE SUCH INSTALLATIONS. PROVIDE AND INSTALL ALL NECESSARY CONCEALED BLOCKING TO SECURELY ANCHOR WALL MOUNTED FIXTURES, CABINETS, EQUIPMENT, ETC.
18. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CLOSING-IN, SEALING AND PROTECTION OF EXISTING OR PUBLIC SPACES FROM THE WORK AREA INCLUDING NOISE, DUST AND POLLUTION CONTROL. THE CONTRACTOR SHALL MAINTAIN AT ALL TIMES ADEQUATE SAFETY BARRIERS AND CLEAR ACCESS IN AND OUT OF THE SITE AND FACILITY SO AS TO FACILITATE DAILY TRAFFIC MOVEMENT, DELIVERIES AND PUBLIC SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN FROM DEBRIS DURING CONSTRUCTION.
19. GENERAL CONTRACTOR SHALL CONSULT WITH THE OWNER TO VERIFY THE SCOPE OF WORK; TO VERIFY OWNER FURNISHED ITEMS AND COORDINATE THOSE ITEMS INTO THE WORK; TO VERIFY ANY ITEMS TO BE RELOCATED; TO VERIFY ANY WORK TO BE PROVIDED BY THE OWNER AND COORDINATE THAT WORK INTO THE PROGRESS OF THE SCHEDULED WORK.
20. GENERAL CONTRACTOR SHALL PROVIDE BLOCKING (FIRE RATED AS REQUIRED) WITHIN WALLS FOR ALL ACCESSORIES
21. SECTIONS SHOWN ARE INTENDED TO SHOW THE SPECIFIC CONSTRUCTION WHERE INDEXED AS WELL AS ESTABLISH THE GENERAL CONSTRUCTION DETAILS FOR SECTIONS THROUGHOUT THE PROJECT WHICH DO NOT HAVE SPECIFIC SECTIONS DRAWN. THE MOST SIMILAR SECTION SHALL BE ADAPTED TO ANY SECTION NOT DETAILED. ANY SPECIFIC QUESTION CONCERNING CONSTRUCTION NOT ADEQUATELY COVERED BY THE ABOVE SHOULD BE DIRECTED TO THE ARCHITECT.
22. DECKS WITH OPENING FOR PIPES, DUCTS, CONDUIT, SLEEVES, ETC. SHALL BE SEALED AROUND THE COMPONENTS FULL THICKNESS OF THE DECK. (FIRE RATED SEALANT WHERE REQUIRED.)
23. ARCHITECTURAL DRAWINGS INDICATED BEARING ELEVATION FOR INFORMATION PURPOSES ONLY. SEE STRUCTURAL DRAWINGS FOR ACTUAL STRUCTURAL STEEL AND BEARING ELEVATIONS.
24. CONSULT PLUMBING, HVAC AND ELECTRICAL DRAWINGS FOR LOCATIONS AND DESCRIPTIONS OF ACCESS PANELS, LOUVER OPENINGS, VENTILATORS, GRILLES, VALVE CABINETS, FIRE DAMPERS OR OTHER APPURTENANCES AFFECTING WALLS, CEILING OR FLOORS AND PROVIDE NECESSARY LINTELS, SUPPORT OR ANCHORING. SEE STRUCTURAL NOTES FOR LINTEL REQUIREMENTS.
25. SEAL ALL SIDES OF FRAMES ABUTTING DISSIMILAR MATERIALS, TYPICAL, CONTINUOUSLY AT HEADS, JAMBS AND SILLS (EXCEPT AT DOOR SILLS UNLESS NOTED OTHERWISE).
26. FILL ALL HOLLOW METAL (HM) FRAMES ABUTTING MASONRY WITH GROUT, FILL INTERMEDIATE MEMBERS AS SHOWN IN DETAILS (TYPICAL).
27. GENERAL CONTRACTOR SHALL VERIFY ALL PENETRATIONS THROUGH CONCRETE FLOORS AND FORM ACCORDINGLY. (PRIOR TO POURING SLAB).
28. TOILET ROOMS SHALL CONFORM TO ALL ACCESSIBILITY REQUIREMENTS OF ICC/ANSI A117.1-2009. AS SHOWN ON RESTROOM DRAWINGS.
29. FLASHING AT HEADS OF WALL OPENINGS SHALL INCLUDE EHD DAMS
30. ALL MASONRY WALL PENETRATIONS TO BE SLEEVED OR CORE DRILLED. SUBCONTRACTORS ARE RESPONSIBLE FOR SEALING ALL OF THEIR PENETRATIONS IN MASONRY WALLS.



1 LOCATION MAP
CS2 SCALE: 1" = 100'-0"
0 100' 0"

SYMBOL LEGEND

	SECTION		MEANS OF EGRESS		EXISTING
	ELEVATION		SPOT ELEVATION		NEW
	DETAIL		EXISTING DOOR		BRICK
	INTERIOR ELEVATION		DOOR TO BE DEMOLISHED		RIGID INSULATION
	STATION POINT		NEW DOOR		COMPACTED SUBGRADE
	WALL TYPE		WALLS		CONCRETE
	WINDOW TYPE		WALLS TO BE DEMOLISHED		C.M.U.
	ROOM NUMBER		ACCESSORY TAG		ROUGH WOOD
	DEMOLITION KEY NOTE		DOOR NUMBER		PLYWOOD
					FINISHED WOOD

ABBREVIATIONS

A/C	AIR CONDITIONING	F.V.W.A.	FIELD VERIFY W/ ARCHITECT	ST. STL.	STAINLESS STEEL
A.H.U.	AIR HANDLING UNIT	GP. BD.	GYPSUM BOARD	STOR.	STORAGE
ALUM.	ALUMINUM	HDCP.	HANDICAPPED	SUSP.	SUSPENDED
@	AT	HVAC.	HEATING/VENTILATION, AIR CONDITIONING	T.O.S.	TOP OF SLAB/STEEL
BSMT.	BASEMENT	HT. OR	HEIGHT	TH.	THICK
B.C.	BASE CABINET	H.	HOLLOW METAL	TYP.	TYPICAL
BITUM.	BITUMINOUS	H.M.	HORIZONTAL	T.O.J.	TOP OF JOIST
BD.	BOARD	INSUL.	INSULATION	U.N.O.	UNLESS NOTED OTHERWISE
BLK.	BLOCK	INT.	INTERIOR	V.I.F.	VERIFY IN FIELD
BLDG.	BUILDING	LAV.	LAVATORY	V.I.F.W.A.	VERIFY IN FIELD W/ ARCHITECT
BLKD.	BULKHEAD	L.H.	LEFT HAND	W.B.	WALLBOARD
B.P.-X	BID PACKAGE #	MACH.	MACHINE	W.C.	WATER CLOSET
CLG.	CEILING	M.O.	MASONRY OPENING	W/	WITH
C.B.	CENTER LINE	MTL.	METAL	W/O	WITHOUT
CL.	CHALKBOARD	MAX.	MAXIMUM	WD.	WOOD
CL.	CLOSET	MECH.	MECHANICAL	W.	WIDE
C.M.U.	CONCRETE MASONRY UNIT	MIN.	MINIMUM		
CONC.	CONCRETE	MISC.	MISCELLANEOUS		
C.J.	CONTROL JOINT	M.E.	MATCH EXISTING		
CONC.	CONCRETE	N.I.C.	NOT IN CONTRACT		
DN.	DIMENSION	NO. OR #	NUMBER		
DWG.	DRAWING	N.T.S.	NOT TO SCALE		
D.F.	DRINKING FOUNTAIN	O.C.	ON CENTER		
D.	DEEP	OPNG.	OPENING		
D.S.	DOWNSPOUT	PLAS. LAM.	PLASTIC LAMINATE		
E.J.	EXPANSION JOINT	PTD	PAINTED		
ELEC.	ELECTRICAL	REFRIG.	REFRIGERATOR		
ELEV. OR	ELEVATOR	REINF.	REINFORCED		
EL.	EQUIPMENT	R.H.	RIGHT HAND		
EQUIP.	EQUIPMENT	RM.	ROOM		
EXIST.	EXISTING	S.G.T.	STRUCTURAL GLAZED TILE		
E.T.R.	EXISTING TO REMAIN	SHT.	SHEET		
FIN.	FINISH	SM	SIMILAR		
F.E.	FIRE EXTINGUISHER	SPEC.	SPECIFICATION		
F.D.	FLOOR DRAIN	STD.	STANDARD		
F.F.E.	FLOOR FLOOR ELEVATION	STL.	STEEL		
FL.	FLOOR				
FT.	FOOT				

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ARCHITECT

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No.	Description	Date

100 N. 13TH ST.

GENERAL NOTES, SYMBOL LEGEND, ABBREVIATIONS

Project Number	2020.0113
Date	NFC
Drawn By	VS
Checked By	CDD

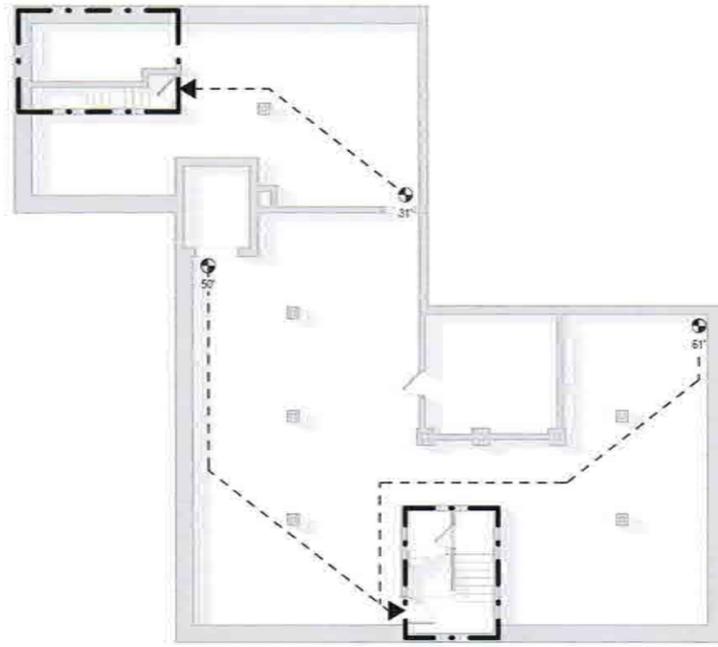
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1/8/2021 PROGRESS
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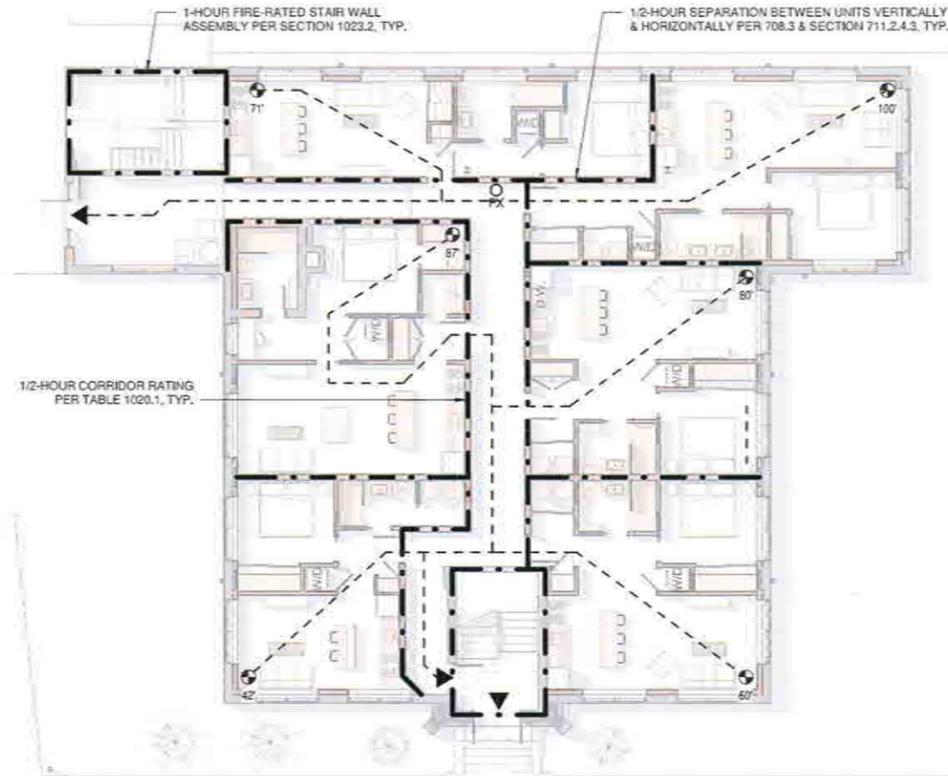
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ARCHITECT

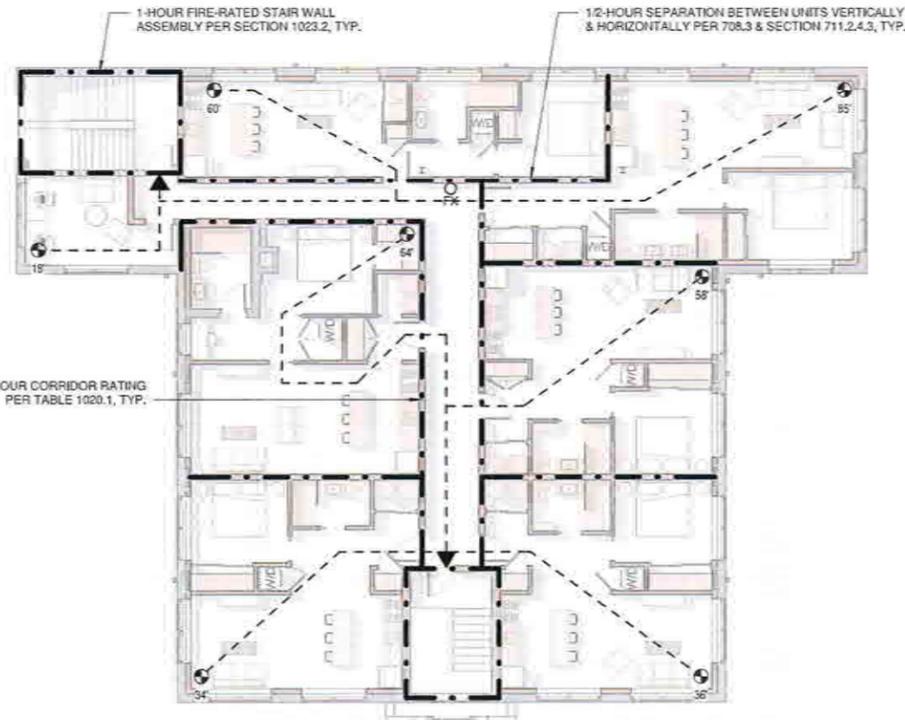
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1 BASEMENT - CODE REVIEW PLAN
LS101 SCALE: 3/32" = 1'-0"



2 GROUND FLOOR - CODE REVIEW PLAN
LS101 SCALE: 3/32" = 1'-0"



3 SECOND FLOOR - CODE REVIEW PLAN
LS101 SCALE: 3/32" = 1'-0"

CODE SUMMARY NOTES - 2015 IBC

PROJECT TYPE:	RENOVATION TENANT FIT-OUT (LEVEL 3 ALTERATION)
LOCATION:	HARRISBURG, PA
OCCUPANCIES:	RESIDENTIAL (R-2)
MAX. OCCUPANT LOAD:	PER TABLE 1004.1.2 200 GSF/OCC = 58 MAX OCCUPANTS
CONSTRUCTION:	TYPE IIB "ORDINARY" UNPROTECTED COMBUSTIBLE CONSTRUCTION
FIRE PROTECTION:	AUTOMATIC SPRINKLER SYSTEM TO BE ADDED PER 903.2.8
MAX. TRAVEL DISTANCE:	PER TABLE 1017.2 = 250 FT MAX
TOTAL SF=	11,580
NUMBER OF STORIES:	2 STORIES (w/ FULL BASEMENT)
HEIGHT=	+/- 32'

PENNSYLVANIA CODES IN FORCE

INTERNATIONAL BUILDING CODE 2015
INTERNATIONAL ENERGY CONSERVATION CODE 2015
INTERNATIONAL EXISTING BUILDING CODE 2015
INTERNATIONAL FIRE CODE 2015
INTERNATIONAL FUEL GAS CODE 2015
INTERNATIONAL MECHANICAL CODE 2015
INTERNATIONAL PERFORMANCE CODE FOR BUILDINGS AND FACILITIES 2009
INTERNATIONAL PLUMBING CODE 2015
INTERNATIONAL RESIDENTIAL CODE 2015
INTERNATIONAL WILDLAND-URBAN INTERFACE CODE 2015
NFPA 101 LIFE SAFETY CODE 2012
2009 ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

INTERNATIONAL BUILDING CODE 2015

IBC 2015 SECTIONS:

420.2 SEPARATION WALLS AS IT RELATES TO FIRE PARTITIONS BETWEEN DWELLING UNITS AND CORRIDORS
420.3 HORIZONTAL SEPARATION AS IT RELATES TO RATED ASSEMBLIES BETWEEN DWELLING UNITS AND CORRIDORS AND AT ROOF
420.5 AUTOMATIC SPRINKLER SYSTEM AS IT RELATES TO GROUP R-2 OCCUPANCY
420.6 FIRE ALARMS/SMOKE ALARMS
708 FIRE PARTITIONS AS REQUIRED BY 420.2
708.3 MINIMUM FIRE RESISTANCE RATING REQUIRED
708.4 CONTINUITY OF RATED ASSEMBLY
708.6 OPENINGS
708.7 PENETRATIONS
711.2 RATED HORIZONTAL ASSEMBLIES AS REQUIRED BY 420.3
711.2.2 CONTINUITY OF RATED ASSEMBLY
711.2.4 MINIMUM FIRE RESISTANCE RATING REQUIRED
713 SHAFT ENCLOSURES
713.4 MINIMUM FIRE-RESISTANCE RATING OF SHAFT ENCLOSURES PER NUMBER OF STORIES
713.5 SHAFT ENCLOSURES ARE FIRE BARRIERS PER 707
714 PENETRATIONS, AS IT RELATES TO THROUGH- AND MEMBRANE PENETRATIONS OF RATED ASSEMBLY (VERTICAL OR HORIZONTAL)
716 OPENING PROTECTIVES AS IT RELATES TO DOOR AND WINDOW
718 CONCEALED SPACES AS IT RELATES TO FIREBLOCKING AND DRAFTSTOPPING
1207 SOUND TRANSMISSION
1207.2 AIR-BORNE SOUND AS IT RELATES TO TRANSMISSION OF SOUND BETWEEN DWELLING UNITS, INCLUDING BETWEEN CORRIDORS, MINIMUM STC OF 50
1207.2 STRUCTURE BORNE-SOUND AS IT RELATES TO TRANSFER OF SOUND BETWEEN UNITS AT FLOOR-CEILING ASSEMBLY, MINIMUM IC OF 50

INTERNATIONAL EXISTING BUILDING CODE 2015

IEBC 2015 SECTIONS:

505 ALTERATION - LEVEL 3
804.2 AUTOMATIC SPRINKLER SYSTEMS
804.2.2 AS IT APPLIES TO GROUP R-2
804.4 FIRE ALARM AND DETECTION AS IT APPLIES TO GROUP R-2 (804.4.1, 6)
805 MEANS OF EGRESS
CHAPTER 9 ALTERATIONS - LEVEL 3
903.1 EXISTING SHAFTS AND VERTICAL OPENINGS AS IT APPLIES TO EXISTING STAIR TOWERS BEING REUSED
904 FIRE PROTECTION
908 ENERGY CONSERVATION
908.1 MINIMUM REQUIREMENTS

EXISTING SITE DATA

COMBINED PROPERTY = 16,074 SF OR 0.41 ACRES
AREA WITH SETBACKS = 13,709 SF OR 0.31 ACRES
EXISTING FOOTPRINT = 5,765 SF
EXISTING SIDEWALKS = 501 SF
TOTAL EXISTING IMPERVIOUS COVERAGE = 6,266 SF
EXISTING IMPERVIOUS PERCENTAGE = 34%

PER 7-305.7 THE PROPOSED MULTI-FAMILY DWELLING USE IS PERMITTED BY SPECIAL EXCEPTION IN THE RESIDENTIAL MED-DENSITY DISTRICT PER 7-327.6 OFFSTREET PARKING REQUIREMENTS ARE 1 SPACE PER UNIT & 1 GUEST SPACE FOR EVERY 5 UNITS. 15 SPACES REQUIRED FOR 12 UNITS. 12 SPACES TO BE ADDED VIA NEW LOT ON ADJACENT LOT TO N-W THEREFORE A VARIANCE IS SOUGHT FOR 12 SPACES PROVIDED IN LIEU OF 15.

SITE AND CITY INFO

100 N 13TH STREET
EXISTING LOTS ID: 08-025-029, 08-025-030, 08-025-031, 08-025-032, 08-025-033, 08-025-034, 08-025-035, 08-025-036, 08-025-049, 08-025-050

ZONED: RM - RESIDENTIAL MID-DENSITY
LOT REQUIREMENTS PER CITY OF HARRISBURG SECTION 7 - 307.3

YARD AREA DEPTH:
FRONT = 5' OR CONFORM TO EXISTING SETBACK
REAR = 10'
SIDE = 4'

MAX IMPERVIOUS COVERAGE: 70%

MAX HEIGHT LOT REQUIREMENTS: 45' MAX

2015 INTERNATIONAL RESIDENTIAL CODE (IRC)

INTERNATIONAL RESIDENTIAL CODE 2015 SECTIONS:

SECTION N1101.5 ONLY TO THE EXTENT THAT THIS SECTION CONTAINS THE DEFINITION OF "INSULATED SIDING."
SECTION N1102.2.4 (RELATING TO ACCESS HATCHES AND DOORS).
SECTION N1102.2.8 (RELATING TO FLOORS).
TABLE N1102.4.1.1 ONLY TO THE EXTENT THAT AMENDMENTS WERE MADE TO THE "FLOORS" ROW OF THIS TABLE.
SECTION N1102.1.3 (RELATING TO R-VALUE COMPUTATION).
TABLE R302.1(1) (RELATING TO REQUIREMENTS FOR EXTERIOR WALLS).
SECTION R316.5.1.1 (RELATING TO SILL PLATES AND HEADERS).
SECTION R317.1.4 (RELATING TO WOOD COLUMNS).
SECTION R507.1 (RELATING TO DECK).
SECTION R507.2.4 (RELATING TO DECK LATERAL LOAD CONNECTION).
SECTION R507.4 (RELATING TO DECKING).
SECTION R507.5 (RELATING TO DECK JOISTS).
SECTION R507.5.1 (RELATING TO LATERAL RESTRAINT AT SUPPORTS).
SECTION R507.6 (RELATING TO DECK BEAMS).
SECTION R507.7 (RELATING TO DECK JOIST AND DECK BEAM BEARING).
SECTION R507.7.1 (RELATING TO DECK POST TO DECK BEAM).
SECTION R507.8 (RELATING TO DECK POSTS).
SECTION R507.8.1 (RELATING TO DECK POST TO DECK FOOTING).
TABLE R507.4 (RELATING TO MAXIMUM JOIST SPACING).
TABLE R507.5 (RELATING TO DECK JOIST SPANS FOR COMMON LUMBER SPECIES).
TABLE R507.8 (RELATING TO DECK POST HEIGHT).
FIGURE R507.2.3(2) (RELATING TO DECK ATTACHMENT FOR LATERAL LOADS).
FIGURE R507.5 (RELATING TO TYPICAL DECK JOIST SPANS).
FIGURE R507.6 (RELATING TO DECK BEAM SPAN LENGTHS).
FIGURE R507.7.1 (RELATING TO DECK BEAM TO DECK POST).
FIGURE R507.8.1 (RELATING TO TYPICAL DECK POSTS TO DECK FOOTINGS).
SECTION M1503.4.1 (RELATING TO "MAKE-UP AIR REQUIRED" FOR RANGE HOODS).
SECTION M1601.4.1 (RELATING TO "JOINTS, SEAMS, AND CONNECTIONS" FOR DUCT CONSTRUCTION) IS ADOPTED ONLY WITH REGARDS TO EXCEPTION NO. 3.

RESIDENTIAL GROUP R OCCUPANCY IN CLIMATE ZONE 5
PER TABLE R402.1.1

R.49 MIN FOR ROOF
R.20 MIN FOR WOOD FRAMED WALLS
R.30 MIN FOR FLOORS
R.10 MIN FOR 2FT EDGE OF SLAB ON GRADE & CRAWL SPACES
FENESTRATION 0.32U FACTOR

CODE SHEET LEGEND

XX XX	USE GROUP / CONSTRUCTION TYPE	---	EXIT PATH
###	NUMBER OF OCCUPANTS TABLE 1004.1.1 CRITERIA	—●—	ONE HOUR PARTITION WALL
○	TRAVEL DISTANCE TO EXIT	—●●—	TWO HOUR PARTITION WALL
○	FIRE EXTINGUISHER	—●●●—	THREE HOUR PARTITION WALL
▲	EXIT / EXIT ACCESS		

NOTE: 30 MIN. RATED FIRE PARTITION ALLOWED BETWEEN DWELLING UNITS PER 708.3, EXCEPTION 2. ONE HOUR RATED FIRE PARTITION BEING PROVIDED.

No.	Description	Date

100 N. 13TH ST.
CODE REVIEW SUMMARY

Project Number	2020.0113
Date	NFC
Drawn By	VS
Checked By	CDD

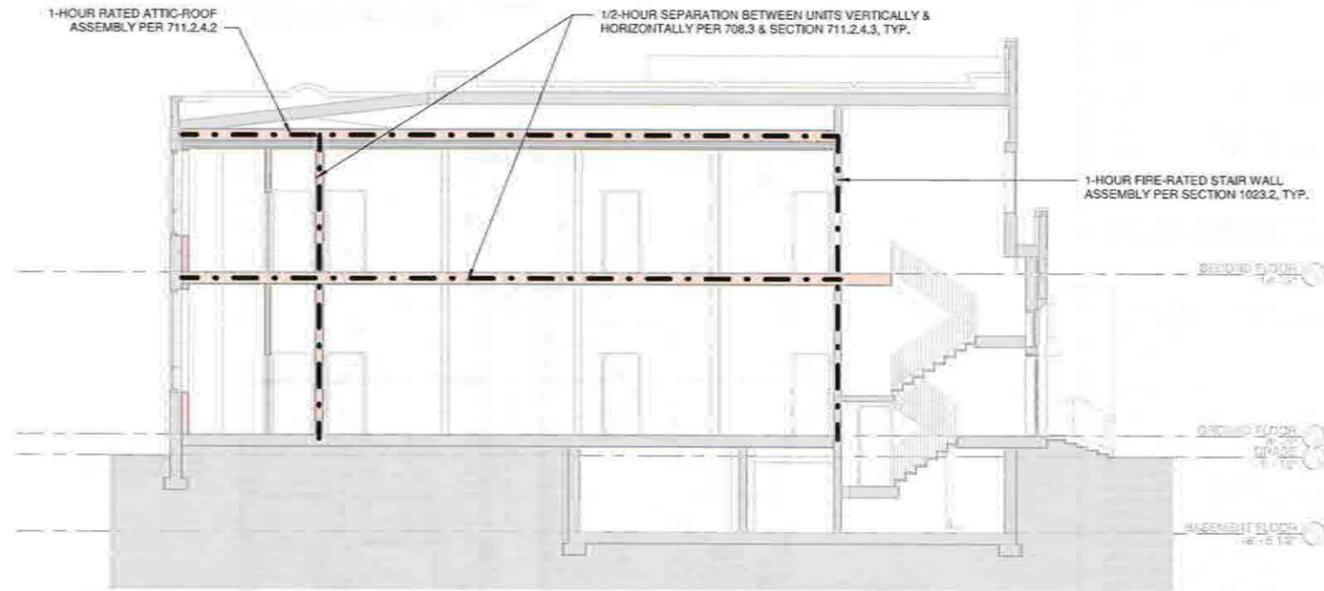
LS101

1/8/2021 PROGRESS
NOT FOR CONSTRUCTION

Scale As indicated

ARCHITECT

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 chris@chrisdawsonarchitect.com



1 BUILDING SECTION
 LS102 SCALE: 1/8" = 1'-0" 0 10' 8"

No.	Description	Date

100 N. 13TH ST.
 CODE REVIEW
 SUMMARY &
 COMPLIANCE
 CERTIFICATES

Project Number	2020.0113
Date	NFC
Drawn By	VS
Checked By	CDD

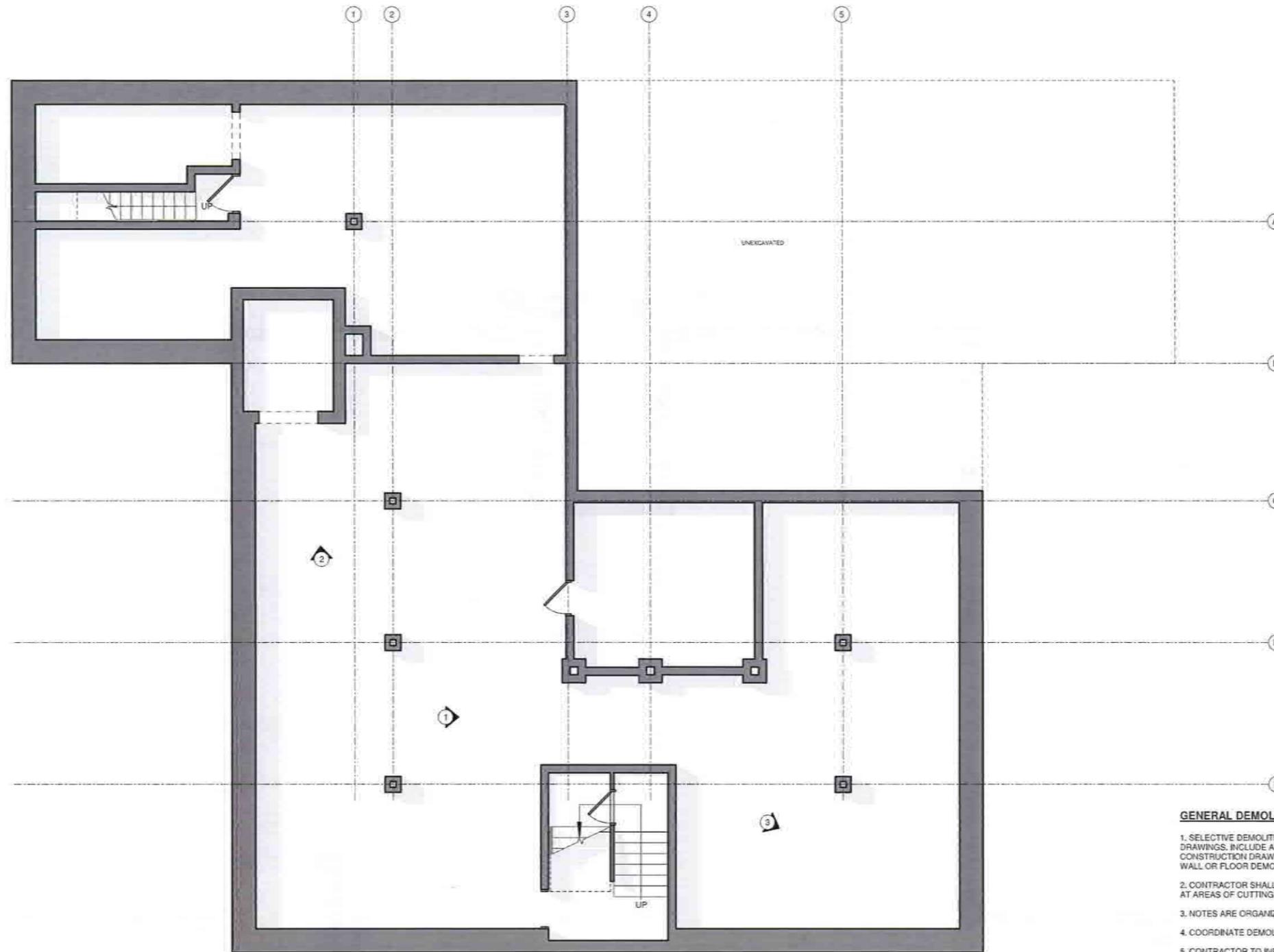
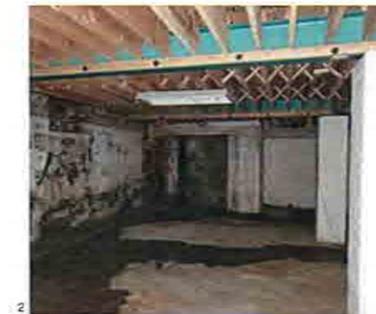
LS102

Scale 1/8" = 1'-0"

1/8/2021 PROGRESS
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ARCHITECT

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GENERAL DEMOLITION NOTES

1. SELECTIVE DEMOLITION WORK SHALL INCLUDE, BUT IS NOT LIMITED TO THE ITEMS LISTED ON THESE DRAWINGS. INCLUDE ALL THAT IS NECESSARY TO COMPLETE THE SCOPE OF WORK AS INDICATED ON THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS. SEE ALL DRAWINGS TO COORDINATE ANY ADDITIONAL WALL OR FLOOR DEMOLITION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING SURFACES/FINISHES TO ORIGINAL CONDITIONS AT AREAS OF CUTTING & PATCHING.
3. NOTES ARE ORGANIZED UNDER THE MOST APPLICABLE SPECIFICATION SECTION.
4. COORDINATE DEMOLITION WITH DIMENSIONS OF NEW CONSTRUCTION.
5. CONTRACTOR TO INFORM ARCHITECT OF CONDITIONS INCONSISTENT WITH WHAT IS SHOWN ON DRAWINGS.
6. --- INDICATES CONCRETE, MASONRY, OR STUD WALLS WITH FINISHES TO BE DEMOLISHED. PATCH ADJACENT SURFACES WITH MATERIALS TO MATCH EXISTING AND MINIMIZE INCONSISTENCIES.
7. REMOVE ALL EXISTING DOORS AND FRAMES WHERE INDICATED BY SYMBOL. COORDINATE WITH DOOR SCHEDULE.
8. THE OWNER WILL REMOVE LOOSE FURNISHINGS, EQUIPMENT AND WALL HUNG PICTURES OR OTHER LOOSE ITEMS PRIOR TO DEMOLITION ACTIVITIES IN AREAS OF WORK. REMOVE ALL REMAINING FURNITURE, EQUIPMENT & REMAINING LOOSE ITEMS, AS COORDINATED WITH OWNER.
9. COORDINATE CHANGES TO LT. SYSTEM COMPONENTS WITH OWNER & PROTECT ALL COMPONENTS TO REMAIN DURING CONSTRUCTION.
10. REMOVE ALL CONSTRUCTION AS REQUIRED TO EXECUTE NEW WORK EVEN IF NOT SPECIFICALLY NOTED.
11. PATCH AND REPAIR ALL AREAS AFFECTED BY DEMOLITION. PREPARE THESE AREAS FOR NEW FINISH - SEE FINISH SCHEDULE.
12. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DESIGN BUILDING DRAWINGS FOR DEMOLITION ASSOCIATED WITH MECHANICAL, PLUMBING, AND ELECTRICAL WORK.
13. REMOVE ALL FASTENERS, SUPPORTS, ETC. ASSOCIATED WITH DEMOLISHED ITEMS.
14. REMOVE ALL EXISTING BASE BOARDS AT AREAS NOTED TO RECEIVE NEW BASEBOARDS IN FINISH SCHEDULE.
16. DEMOLITION NOTES IN A ROOM SHALL EXTEND INTO ADJOINING CLOSETS AND STORAGE SPACES UNLESS NOTED OTHERWISE.

1 BASEMENT - DEMO PLAN
AD101 SCALE: 3/16" = 1'-0"

No.	Description	Date

100 N. 13TH ST.
**BASEMENT -
DEMO PLAN**

Project Number	2020.0113
Date	NFC
Drawn By	VS
Checked By	CDD

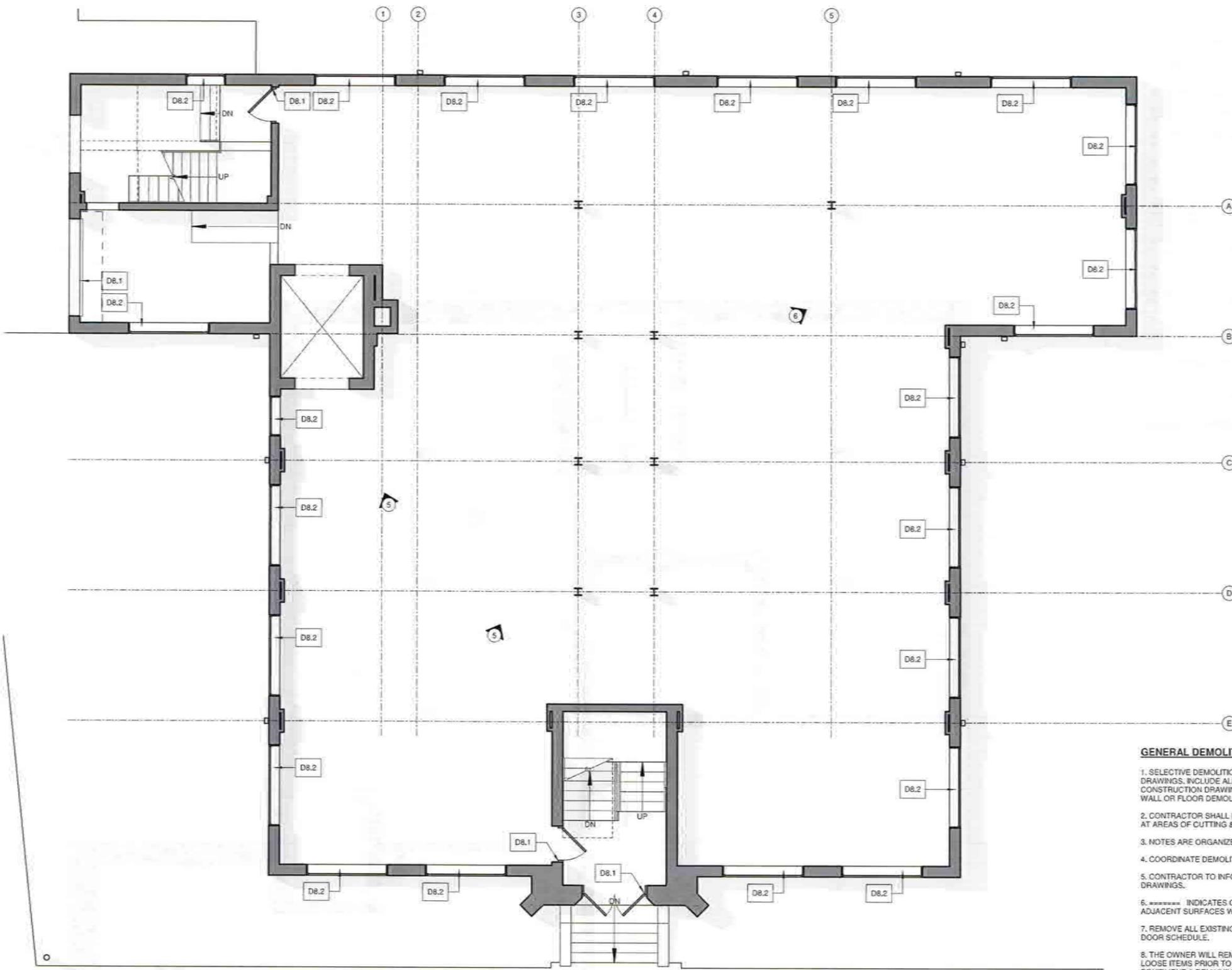
AD101

Scale: As indicated

1/8/2021 PROGRESS
NOT FOR CONSTRUCTION

ARCHITECT

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GENERAL DEMOLITION NOTES

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2. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING SURFACES/FINISHES TO ORIGINAL CONDITIONS AT AREAS OF CUTTING & PATCHING.
3. NOTES ARE ORGANIZED UNDER THE MOST APPLICABLE SPECIFICATION SECTION.
4. COORDINATE DEMOLITION WITH DIMENSIONS OF NEW CONSTRUCTION.
5. CONTRACTOR TO INFORM ARCHITECT OF CONDITIONS INCONSISTENT WITH WHAT IS SHOWN ON DRAWINGS.
6. [Symbol] INDICATES CONCRETE, MASONRY, OR STUD WALLS WITH FINISHES TO BE DEMOLISHED. PATCH ADJACENT SURFACES WITH MATERIALS TO MATCH EXISTING AND MINIMIZE INCONSISTENCIES.
7. REMOVE ALL EXISTING DOORS AND FRAMES WHERE INDICATED BY [Symbol] SYMBOL. COORDINATE WITH DOOR SCHEDULE.
8. THE OWNER WILL REMOVE LOOSE FURNISHINGS, EQUIPMENT AND WALL HUNG PICTURES OR OTHER LOOSE ITEMS PRIOR TO DEMOLITION ACTIVITIES IN AREAS OF WORK. REMOVE ALL REMAINING FURNITURE, EQUIPMENT & REMAINING LOOSE ITEMS, AS COORDINATED WITH OWNER.
9. COORDINATE CHANGES TO LT. SYSTEM COMPONENTS WITH OWNER & PROTECT ALL COMPONENTS TO REMAIN DURING CONSTRUCTION.
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14. REMOVE ALL EXISTING BASE BOARDS AT AREAS NOTED TO RECEIVE NEW BASEBOARDS IN FINISH SCHEDULE.
16. DEMOLITION NOTES IN A ROOM SHALL EXTEND INTO ADJOINING CLOSETS AND STORAGE SPACES UNLESS NOTED OTHERWISE.

DEMO NOTE KEY

DIV 2: GENERAL SELECTIVE DEMOLITION

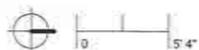
[D8.1] REMOVE EXISTING WALL AREA AS REQUIRED FOR NEW DOOR OPENING

DIV 3: OPENINGS

[D8.1] REMOVE EXISTING DOOR AND FRAME

[D8.2] REMOVE EXISTING WINDOW AND FRAME

1 GROUND FLOOR - DEMO PLAN
AD102 SCALE: 3/16" = 1'-0"



No.	Description	Date

100 N. 13TH ST.
**GROUND FLOOR -
DEMO PLAN**

Project Number	2020.0113
Date	NFC
Drawn By	Author
Checked By	Checker

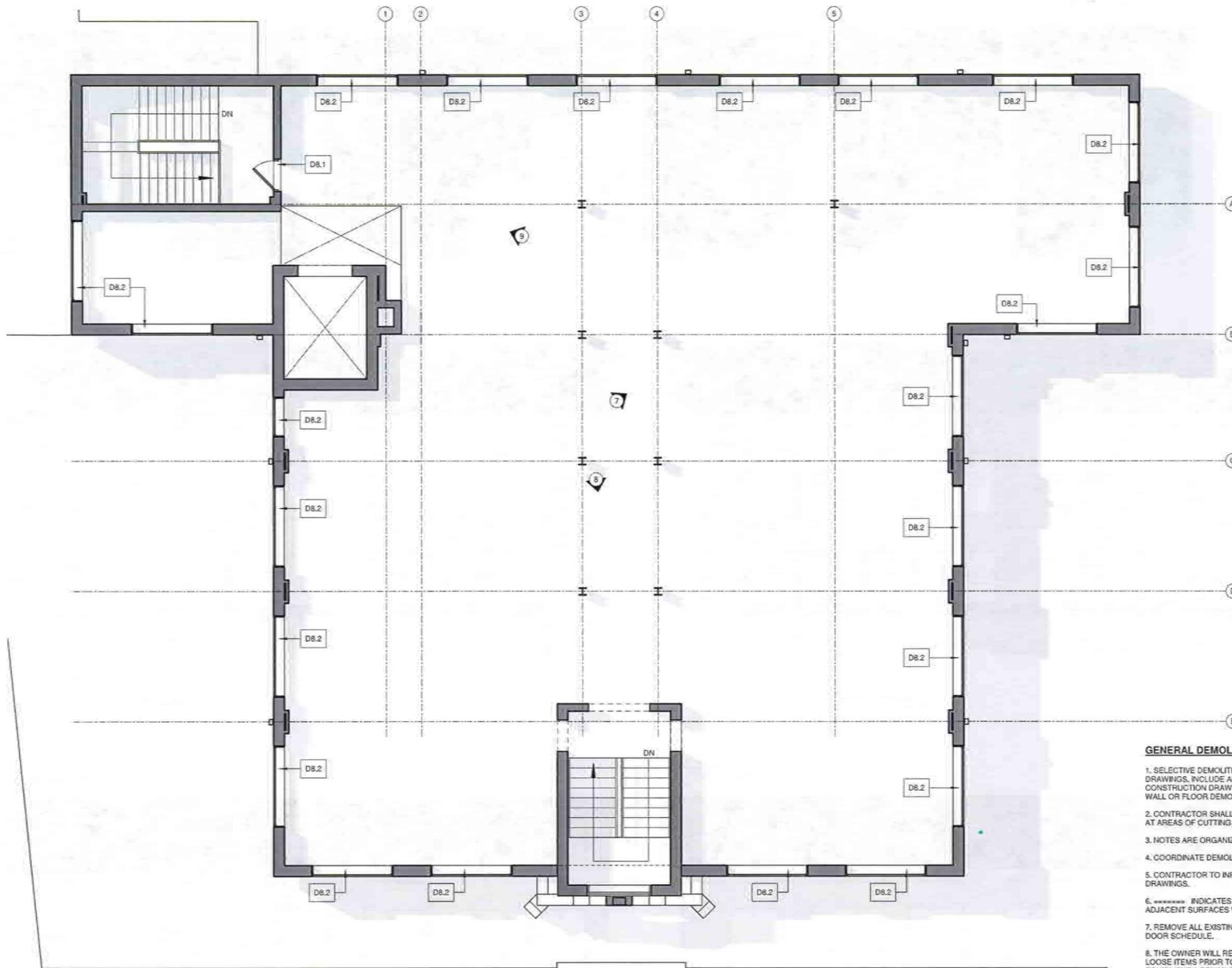
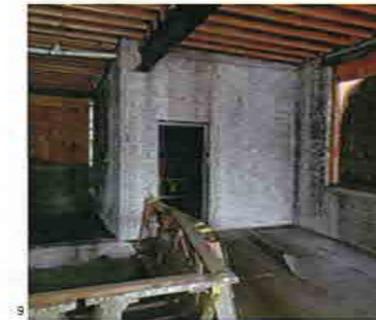
AD102

Scale As indicated

1/8/2021 PROGRESS
NOT FOR CONSTRUCTION

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GENERAL DEMOLITION NOTES

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2. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING SURFACES/FINISHES TO ORIGINAL CONDITIONS AT AREAS OF CUTTING & PATCHING.
3. NOTES ARE ORGANIZED UNDER THE MOST APPLICABLE SPECIFICATION SECTION.
4. COORDINATE DEMOLITION WITH DIMENSIONS OF NEW CONSTRUCTION.
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12. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DESIGN BUILDING DRAWINGS FOR DEMOLITION ASSOCIATED WITH MECHANICAL, PLUMBING, AND ELECTRICAL WORK.
13. REMOVE ALL FASTENERS, SUPPORTS, ETC. ASSOCIATED WITH DEMOLISHED ITEMS.
14. REMOVE ALL EXISTING BASE BOARDS AT AREAS NOTED TO RECEIVE NEW BASEBOARDS IN FINISH SCHEDULE.
16. DEMOLITION NOTES IN A ROOM SHALL EXTEND INTO ADJOINING CLOSETS AND STORAGE SPACES UNLESS NOTED OTHERWISE.

1 SECOND FLOOR - DEMO PLAN
AD103 SCALE: 3/16" = 1'-0"

No.	Description	Date

100 N. 13TH ST.
**SECOND FLOOR -
DEMO PLAN**

Project Number	2020.0113
Date	NFC
Drawn By	Author
Checked By	Checker

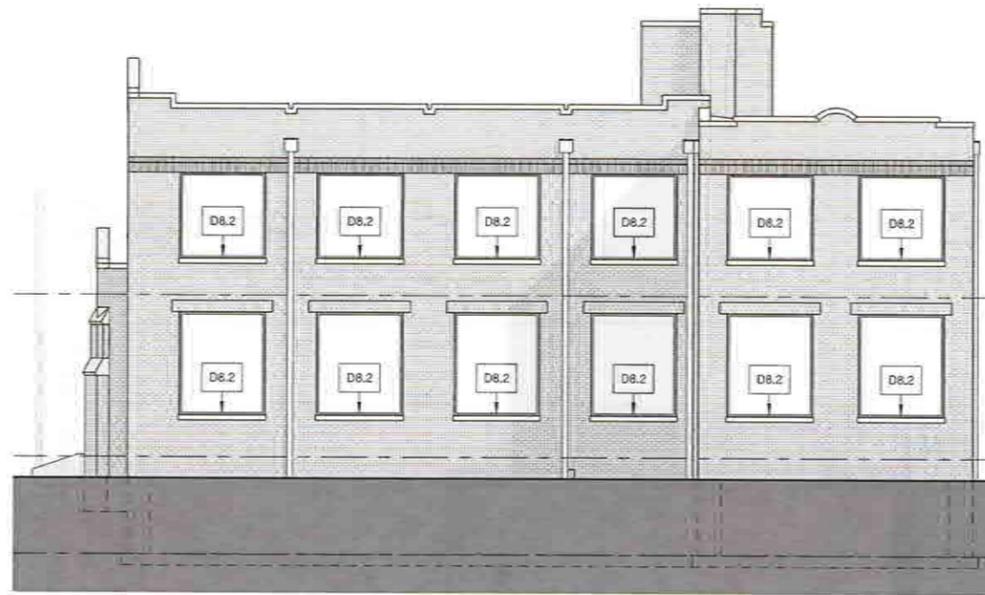
AD103

Scale As indicated

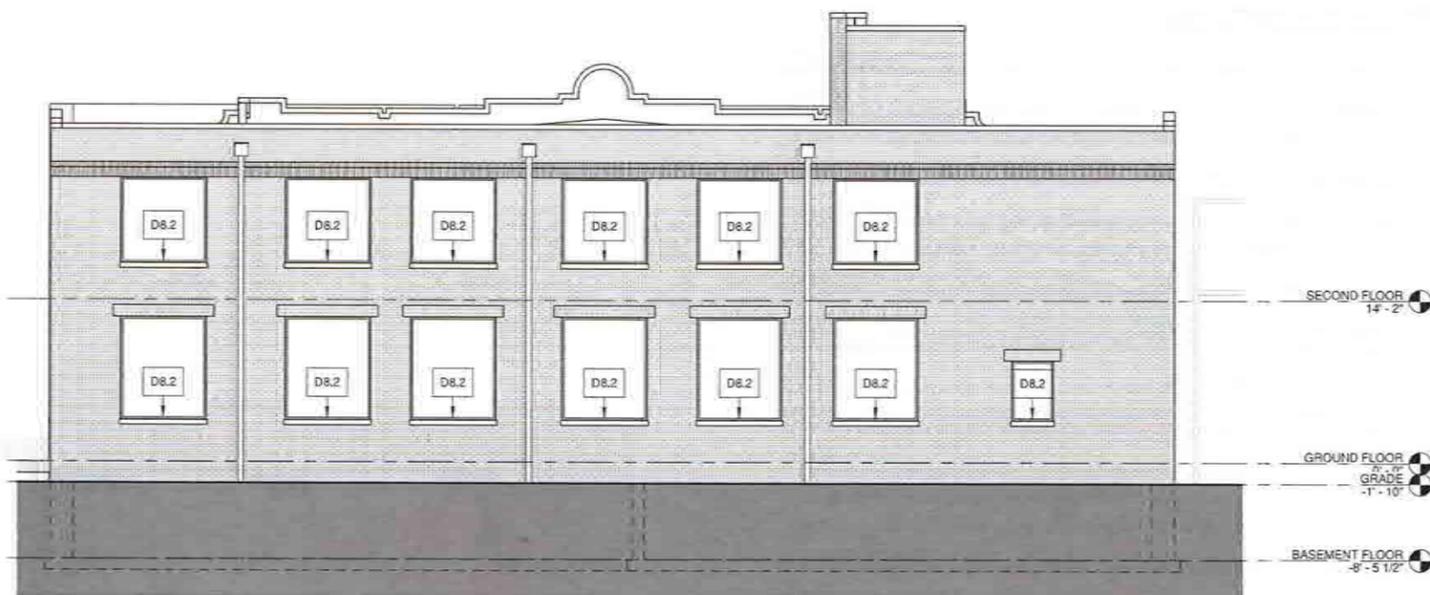
1/8/2021 PROGRESS
NOT FOR CONSTRUCTION

ARCHITECT

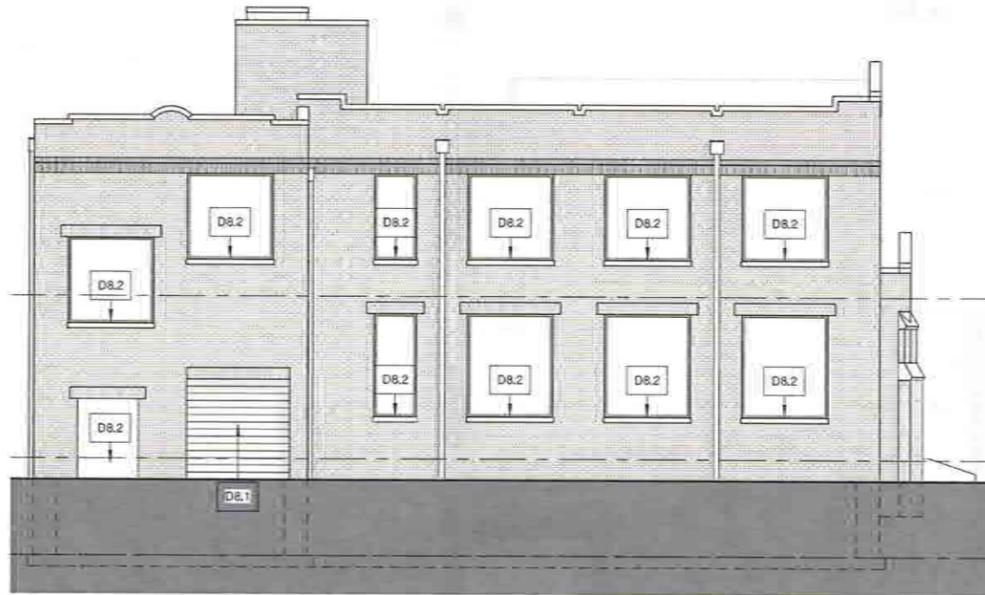
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1 DEMO NORTH
AD104 SCALE: 1/8" = 1'-0" 0 8' 0"



2 DEMO WEST
AD104 SCALE: 1/8" = 1'-0" 0 8' 0"



3 DEMO SOUTH
AD104 SCALE: 1/8" = 1'-0" 0 8' 0"



4 DEMO EAST
AD104 SCALE: 1/8" = 1'-0" 0 8' 0"



EXISTING EXTERIOR PHOTOS

DEMO NOTE KEY

- DIV 2:** GENERAL SELECTIVE DEMOLITION
 D2.1 REMOVE EXISTING WALL AREA AS REQUIRED FOR NEW DOOR OPENING
- DIV 8:** OPENINGS
 D&1 REMOVE EXISTING DOOR AND FRAME
 D&2 REMOVE EXISTING WINDOW AND FRAME

No.	Description	Date

100 N. 13TH ST.
EXTERIOR ELEVATIONS - DEMO

Project Number	2020.0113
Date	NFC
Drawn By	VS
Checked By	CDD

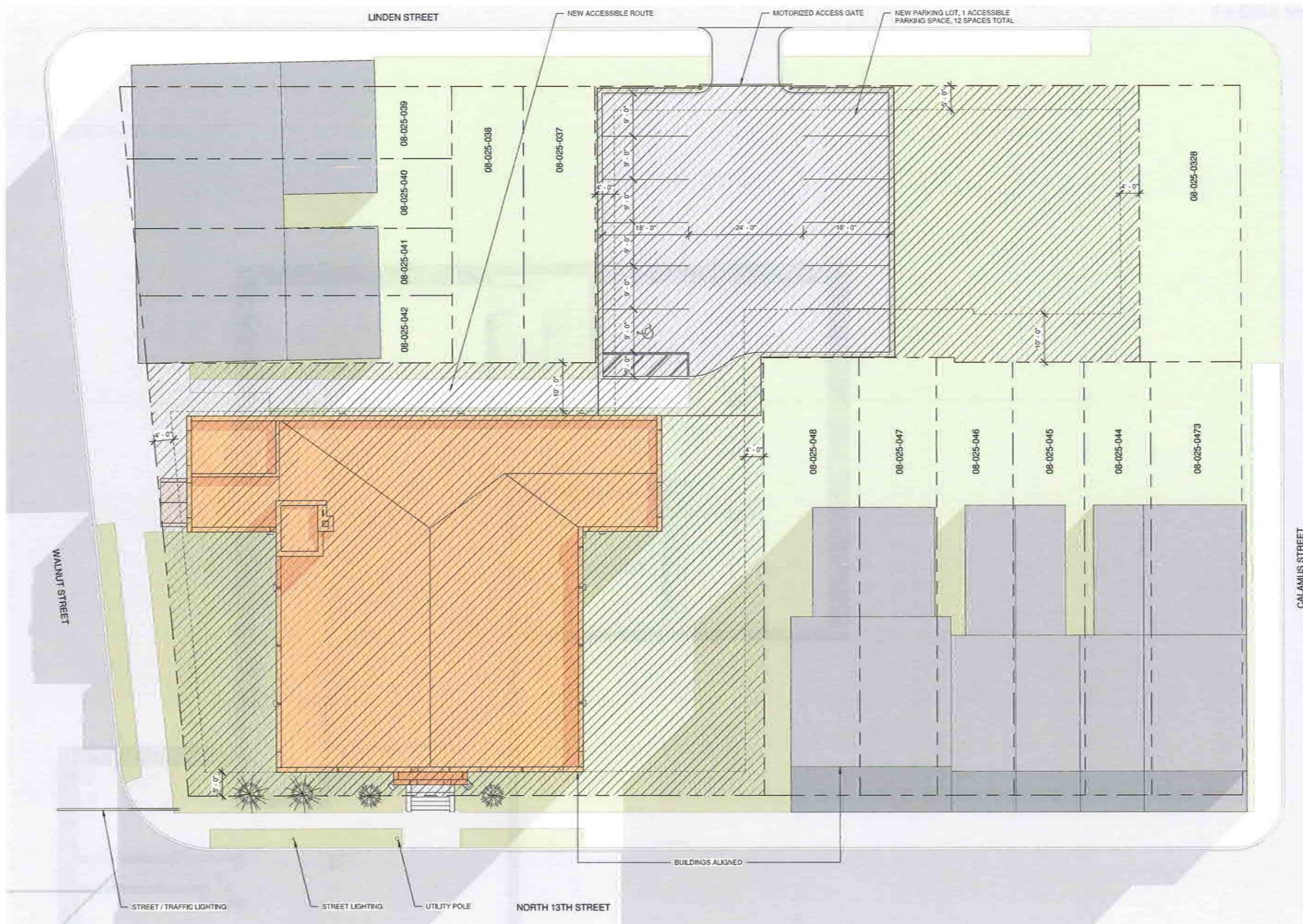
AD104

Scale As indicated

1/8/2021 PROGRESS
NOT FOR CONSTRUCTION

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No.	Description	Date

100 N. 13TH ST.
 ARCHITECTURAL
 SITE PLAN

Project Number	2020.0113
Date	NFC
Drawn By	VS
Checked By	CDD

A001

Scale: As indicated

NEW SITE PLAN
 A001 SCALE: 3/32" = 1'-0"



SITE DATA

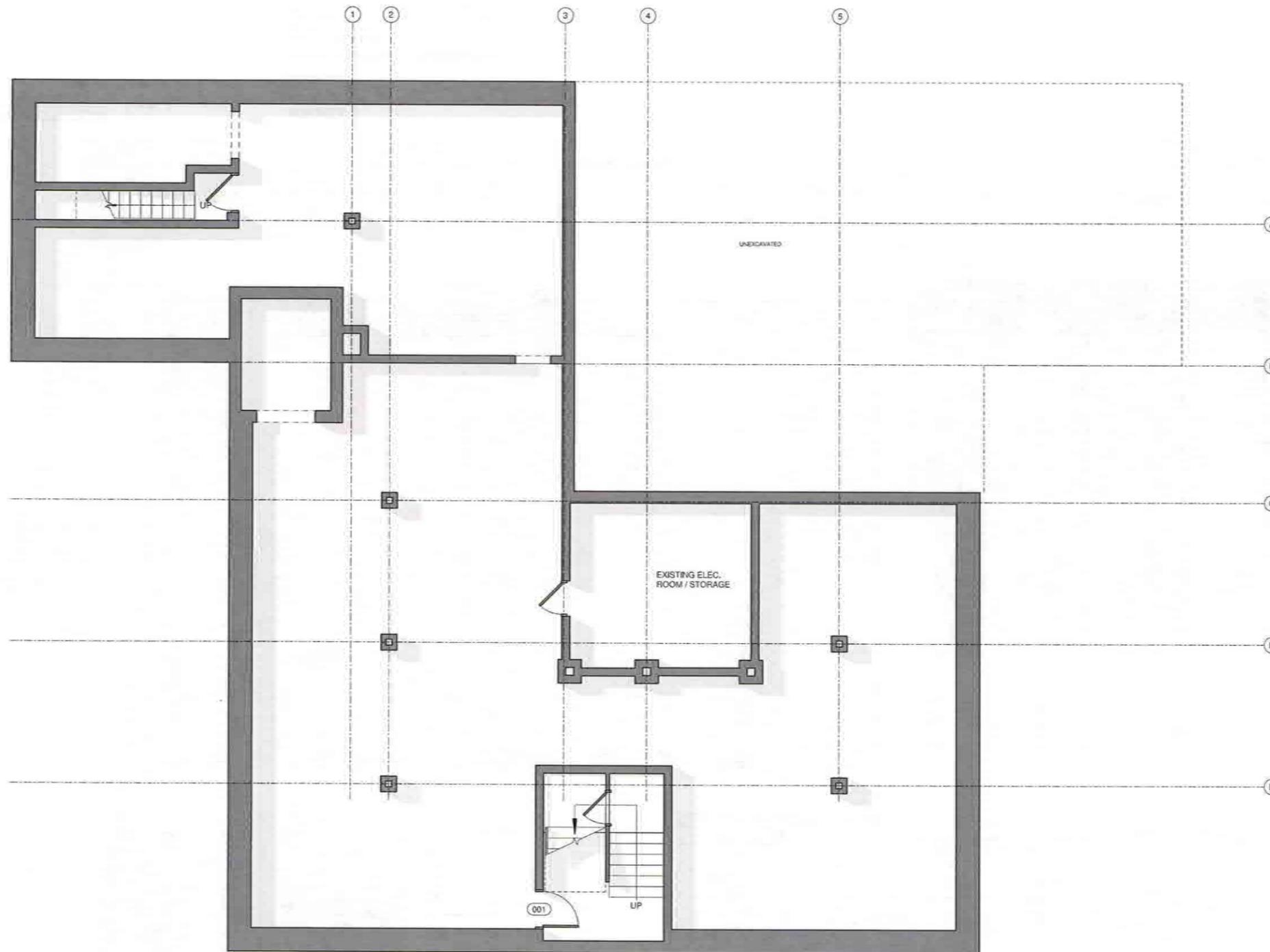
COMBINED PROPERTY = 18,074 SF OR 0.41 ACRES

AREA WITH SETBACKS = 13,709 SF OR 0.31 ACRES
 EXISTING FOOTPRINT = 5765 SF
 EXISTING SIDEWALKS = 501 SF
 TOTAL EXISTING IMPERVIOUS COVERAGE = 6266 SF
 EXISTING IMPERVIOUS PERCENTAGE = 34%

1/8/2021 PROGRESS
 NOT FOR CONSTRUCTION

ARCHITECT

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No.	Description	Date

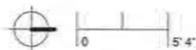
100 N. 13TH ST.
 BASEMENT FLOOR
 PLAN

Project Number	2020.0113
Date	NFC
Drawn By	Author
Checked By	Checker

A101

Scale 3/16" = 1'-0"

1 PROPOSED BASEMENT PLAN
 A101 SCALE: 3/16" = 1'-0"



1/8/2021 PROGRESS
 NOT FOR CONSTRUCTION

GENERAL PLAN NOTES

1. DIMENSIONS ARE FROM FACE OF FINISH, FACE OF MASONRY, OR CENTERLINE OF COLUMN
2. INTERIOR WALL STUDS TO BE 3-5/8" THICK UNLESS NOTED OTHERWISE. THE 3-5/8" DIMENSION HAS BEEN OMITTED FROM INTERIOR DIMENSION STRINGS FOR CLARITY. BRACE AS REQUIRED.
3. SET DOOR JAMB ON HINGE SIDE 4" FROM FINISHED FACE OF ADJACENT WALL UNLESS NOTED OTHERWISE
4. PROVIDE WATER RESISTANT GYPSUM WALLBOARD (GWB) IN ALL BATHROOMS WITH GLASS MESH MORTAR UNITS BEHIND CERAMIC TILE
5. PROVIDE GWB CONTROL JOINTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. OBTAIN ARCHITECT'S APPROVAL OF LOCATIONS PRIOR TO CONSTRUCTION
6. RUN ALL PARTITIONS TO UNDERSIDE OF FLOOR/CEILING FRAMING OR ROOF DECKING & INCLUDE ACOUSTIC BATT UNLESS NOTED OTHERWISE
7. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY POWER SERVICE DURING CONSTRUCTION. A NEW ELECTRIC SERVICE WILL BE REQUIRED FOR THE BUILDING.

PARTITION KEY

SEE INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR FINAL WALL FINISH MATERIAL

- NEW WALL CONSTRUCTION
- EXISTING WALL CONSTRUCTION
- P1 3 5/8" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" GYPSUM WALL BOARD BOTH SIDES, FLOOR TO DECK & 3 1/2" ACOUSTIC BATT INSULATION
- P2 3 5/8" 24 GAUGE METAL STUDS @ 16" O.C. w/ FIBER REINFORCED WATER-RESISTANT GYPSUM WALLBOARD & CERAMIC TILE ONE SIDE, AND 5/8" GYPSUM WALL BOARD OTHER SIDE, AND 3 1/2" ACOUSTIC BATT INSULATION
- P3 (UL U149 1 HOUR RATED WALL ASSEMBLY) 5" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" TYPE 'X' FIRE RATED GYPSUM WALL BOARD & RC-1 RESILIENT CHANNEL ONE SIDE, 5/8" TYPE 'X' FIRE RATED GYPSUM WALL BOARD OTHER SIDE & MIN 3" MINERAL WOOD ACOUSTIC INSULATION BETWEEN STUDS (STC 53 SOUND RATING)
- P4 (UL U149 1 HOUR RATED WALL ASSEMBLY) 5" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" TYPE 'X' FIRE RATED GYPSUM WALL BOARD & RC-1 RESILIENT CHANNEL ONE SIDE, 5/8" TYPE 'X' FIRE RATED w/ FIBER REINFORCED WATER-RESISTANT GYPSUM WALLBOARD & CERAMIC TILE OTHER SIDE & MIN 3" MINERAL WOOD ACOUSTIC INSULATION BETWEEN STUDS (STC 53 SOUND RATING)
- P5 NOT USED
- P6 6" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" GYPSUM WALL BOARD ON INTERIOR SIDE OF EXISTING EXTERIOR WALL & 6" BATT INSULATION (R-20 MIN.)
- P7 6" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" FIBER REINFORCED WATER-RESISTANT GYPSUM WALLBOARD & CERAMIC TILE ON INTERIOR SIDE OF EXISTING EXTERIOR WALL & 6" BATT INSULATION (R-20 MIN.)
- P8 (UL U149 1 HOUR RATED WALL ASSEMBLY) 5" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" TYPE 'X' FIBER REINFORCED WATER-RESISTANT GYPSUM WALLBOARD & CERAMIC TILE & RC-1 RESILIENT CHANNEL ONE SIDE, 5/8" TYPE 'X' FIRE RATED w/ FIBER REINFORCED WATER-RESISTANT GYPSUM WALLBOARD & CERAMIC TILE OTHER SIDE & MIN 3" MINERAL WOOD ACOUSTIC INSULATION BETWEEN STUDS (STC 53 SOUND RATING)

CASEWORK KEY

- CASEWORK (BUILT IN)
- FF&E (N.I.C.)



1 PROPOSED GROUND FLOOR PLAN
SCALE: 3/16" = 1'-0"
10 5'

No.	Description	Date

100 N. 13TH ST.
GROUND FLOOR PLAN

Project Number	2020.0113
Date	NFC
Drawn By	VS
Checked By	CDD

A102

Scale: As indicated

1/8/2021 PROGRESS
NOT FOR CONSTRUCTION

ARCHITECT

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GENERAL PLAN NOTES

1. DIMENSIONS ARE FROM FACE OF FINISH, FACE OF MASONRY, OR CENTERLINE OF COLUMN
2. INTERIOR WALL STUDS TO BE 3-5/8" THICK UNLESS NOTED OTHERWISE. THE 3-5/8" DIMENSION HAS BEEN OMITTED FROM INTERIOR DIMENSION STRINGS FOR CLARITY. BRACE AS REQUIRED.
3. SET DOOR JAMB ON HINGE SIDE 4" FROM FINISHED FACE OF ADJACENT WALL UNLESS NOTED OTHERWISE
4. PROVIDE WATER RESISTANT GYPSUM WALLBOARD (GWB) IN ALL BATHROOMS WITH GLASS MESH MORTAR UNITS BEHIND CERAMIC TILE
5. PROVIDE GWB CONTROL JOINTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. OBTAIN ARCHITECT'S APPROVAL OF LOCATIONS PRIOR TO CONSTRUCTION
6. RUN ALL PARTITIONS TO UNDERSIDE OF FLOOR/CEILING FRAMING OR ROOF DECKING & INCLUDE ACOUSTIC BATT UNLESS NOTED OTHERWISE
7. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY POWER SERVICE DURING CONSTRUCTION. A NEW ELECTRIC SERVICE WILL BE REQUIRED FOR THE BUILDING.

PARTITION KEY

SEE INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR FINAL WALL FINISH MATERIAL

- NEW WALL CONSTRUCTION
- EXISTING WALL CONSTRUCTION

P1 3 5/8" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" GYPSUM WALL BOARD BOTH SIDES. FLOOR TO DECK & 3 1/2" ACOUSTIC BATT INSULATION

P2 3 5/8" 24 GAUGE METAL STUDS @ 16" O.C. w/ FIBER REINFORCED WATER-RESISTANT GYPSUM WALL BOARD & CERAMIC TILE ONE SIDE, AND 5/8" GYPSUM WALL BOARD OTHER SIDE, AND 3 1/2" ACOUSTIC BATT INSULATION

P3 (UL U149 1 HOUR RATED WALL ASSEMBLY) 6" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" TYPE 'X' FIRE RATED GYPSUM WALL BOARD & RC-1 RESILANT CHANNEL ONE SIDE, 5/8" TYPE 'X' FIRE RATED GYPSUM WALL BOARD OTHER SIDE & MIN 3" MINERAL WOOD ACOUSTIC INSULATION BETWEEN STUDS (STC 53 SOUND RATING)

P4 (UL U149 1 HOUR RATED WALL ASSEMBLY) 6" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" TYPE 'X' FIRE RATED GYPSUM WALL BOARD & RC-1 RESILANT CHANNEL ONE SIDE, 5/8" TYPE 'X' FIRE RATED w/ FIBER REINFORCED WATER-RESISTANT GYPSUM WALLBOARD & CERAMIC TILE OTHER SIDE & MIN 3" MINERAL WOOD ACOUSTIC INSULATION BETWEEN STUDS (STC 53 SOUND RATING)

P5 NOT USED

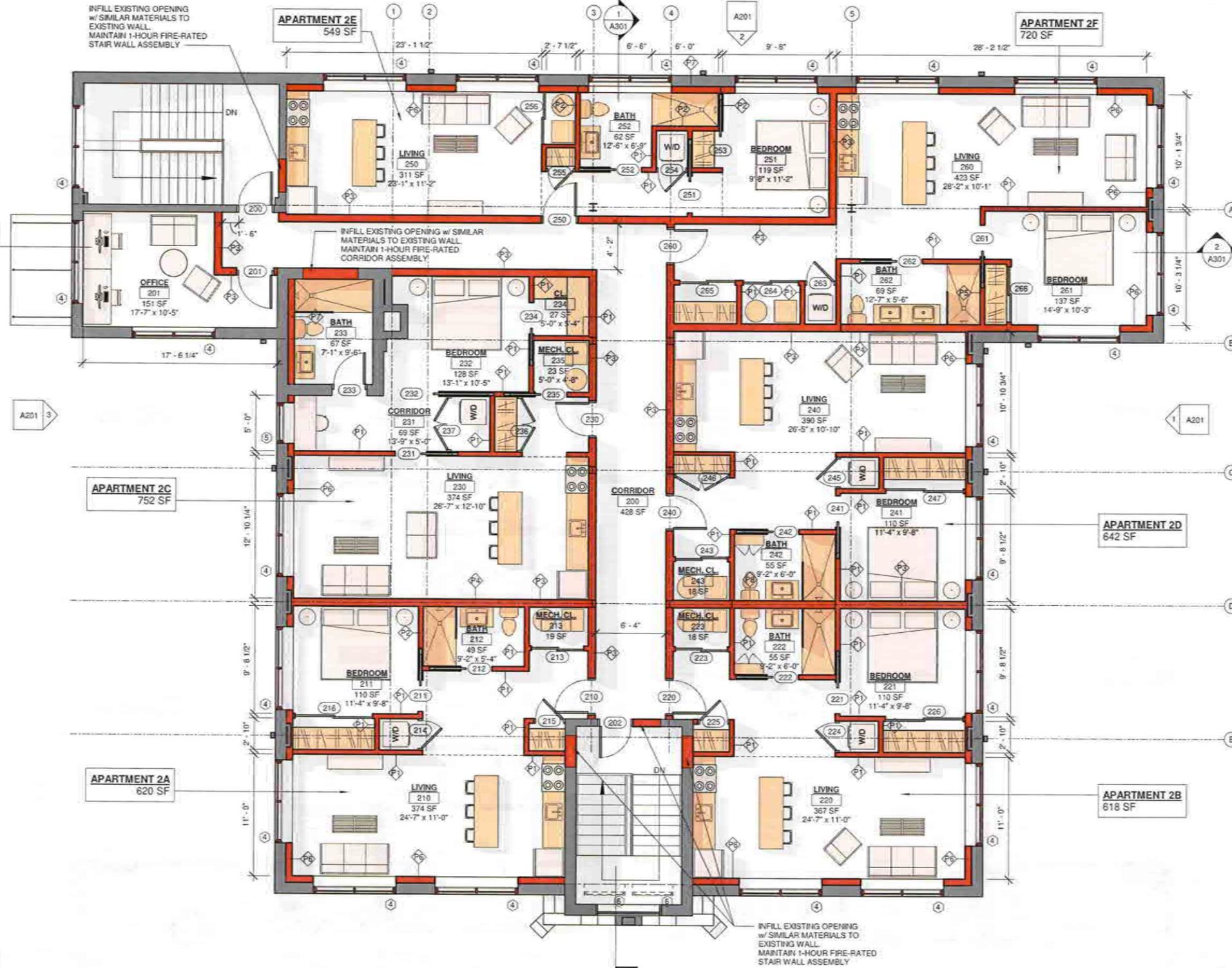
P6 6" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" GYPSUM WALL BOARD ON INTERIOR SIDE OF EXISTING EXTERIOR WALL & 6" BATT INSULATION (R-20 MIN.)

P7 6" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" FIBER REINFORCED WATER-RESISTANT GYPSUM WALLBOARD & CERAMIC TILE ON INTERIOR SIDE OF EXISTING EXTERIOR WALL & 6" BATT INSULATION (R-20 MIN.)

P8 (UL U149 1 HOUR RATED WALL ASSEMBLY) 6" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" TYPE 'X' FIBER REINFORCED WATER-RESISTANT GYPSUM WALLBOARD & CERAMIC TILE & RC-1 RESILANT CHANNEL ONE SIDE, 5/8" TYPE 'X' FIRE RATED w/ FIBER REINFORCED WATER-RESISTANT GYPSUM WALLBOARD & CERAMIC TILE OTHER SIDE & MIN 3" MINERAL WOOD ACOUSTIC INSULATION BETWEEN STUDS (STC 53 SOUND RATING)

CASEWORK KEY

- CASEWORK (BUILT IN)
- FF&E (N.I.C.)



1 PROPOSED SECOND FLOOR PLAN
A103 SCALE: 3/16" = 1'-0"
10 5'-4"

1/8/2021 PROGRESS
NOT FOR CONSTRUCTION

100 N. 13TH ST.
SECOND FLOOR
PLAN

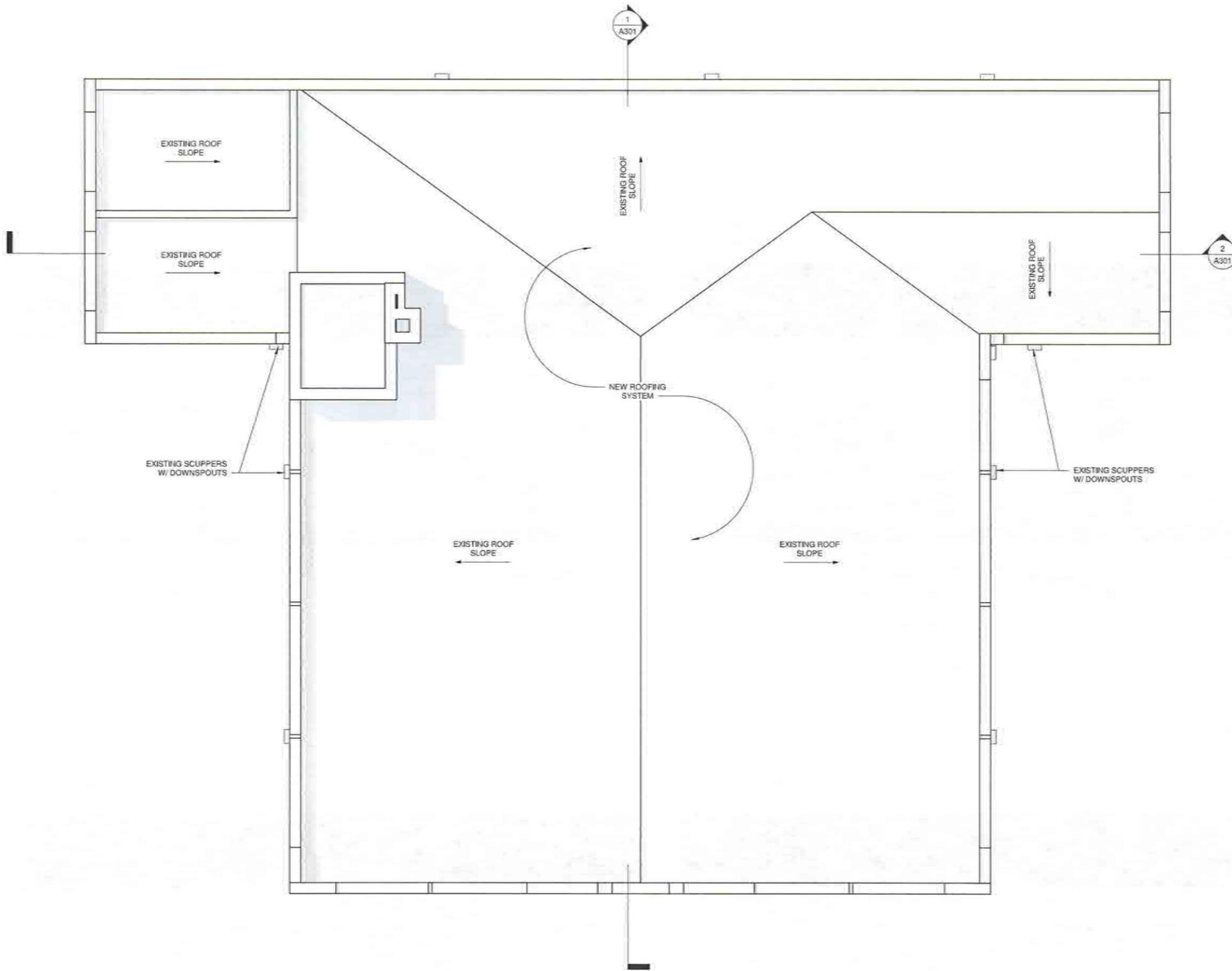
Project Number	2020.0113
Date	NFC
Drawn By	VS
Checked By	CDD

A103

Scale As indicated

ARCHITECT

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1 PROPOSED ROOF PLAN
A106 SCALE: 3/16" = 1'-0"

No.	Description	Date

100 N. 13TH ST.
ROOF PLAN

Project Number	2020.0113
Date	NFC
Drawn By	Author
Checked By	Checker

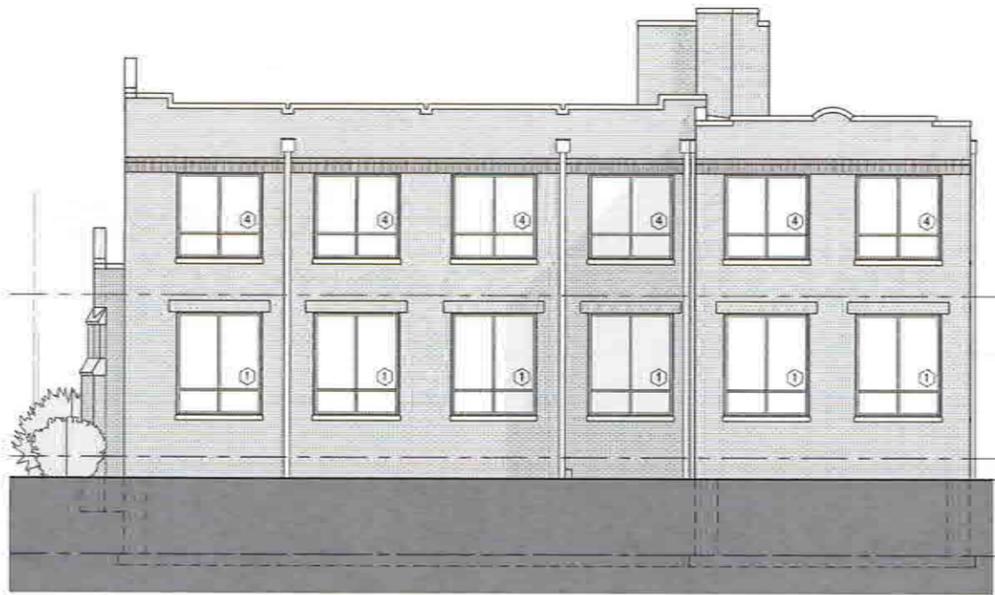
A106

Scale: 3/16" = 1'-0"

1/8/2021 PROGRESS
NOT FOR CONSTRUCTION

ARCHITECT

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1 NEW NORTH
A201 SCALE: 1/8" = 1'-0"
0 8' 0"



2 NEW WEST
A201 SCALE: 1/8" = 1'-0"
0 8' 0"



3 NEW SOUTH
A201 SCALE: 1/8" = 1'-0"
0 8' 0"



4 NEW EAST
A201 SCALE: 1/8" = 1'-0"
0 8' 0"

No.	Description	Date

100 N. 13TH ST.
EXTERIOR ELEVATIONS

Project Number	2020.0113
Date	NFC
Drawn By	VS
Checked By	CDD

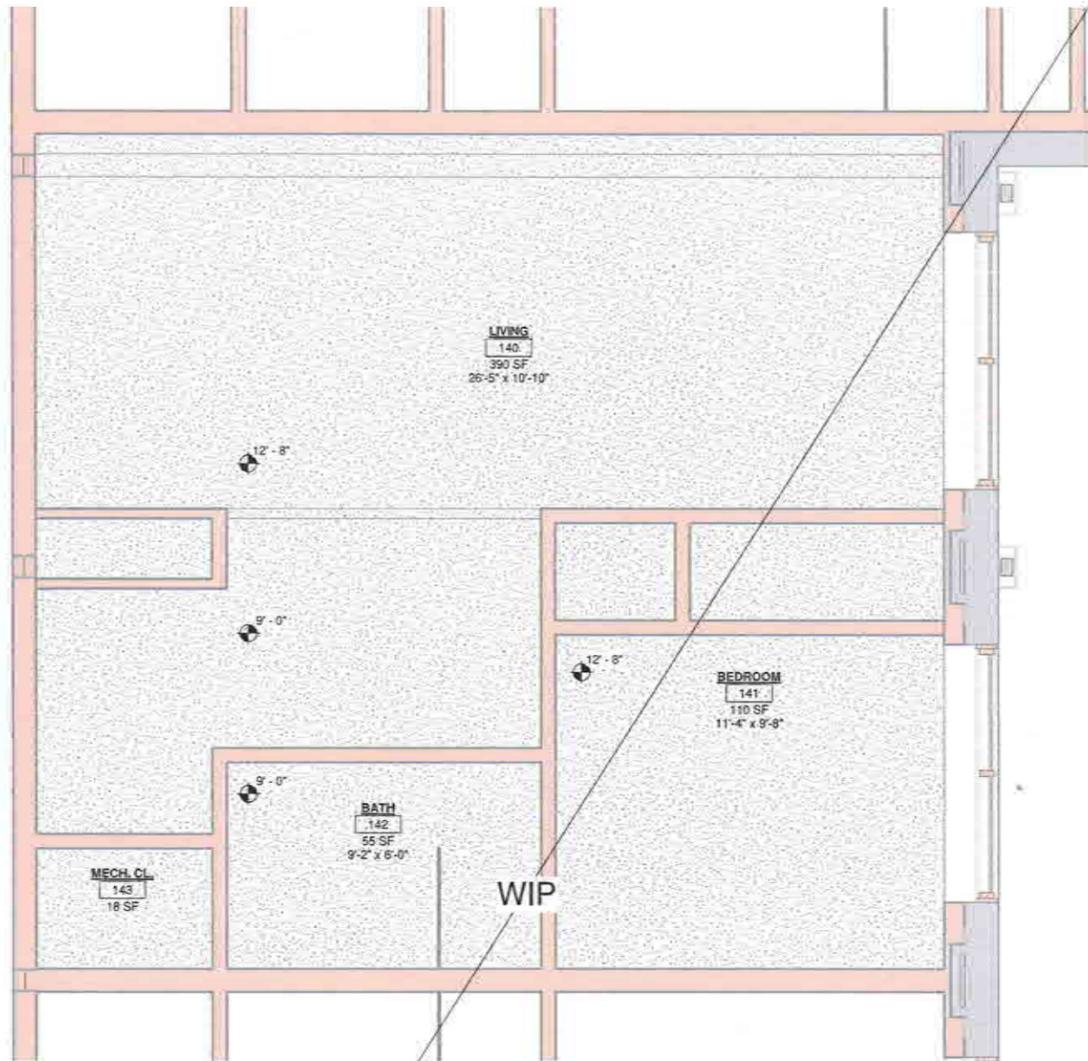
A201

Scale 1/8" = 1'-0"

1/8/2021 PROGRESS
NOT FOR CONSTRUCTION

ARCHITECT

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1 REFLECTED CEILING PLAN - UNIT 1D
SCALE: 3/8" = 1'-0"



2 ENLARGED UNIT 1D PLAN
SCALE: 3/8" = 1'-0"

FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR FINISH	WALLS												CEILING	
			NORTH			EAST			SOUTH			WEST			MAT'L	FINISH
			MAT'L	FINISH	BASE	MAT'L	FINISH									
140	LIVING															
141	BEDROOM															
142	BATH															
143	MECH. CL.															

PARTITION KEY

SEE INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR FINAL WALL FINISH MATERIAL.

- NEW WALL CONSTRUCTION
- EXISTING WALL CONSTRUCTION

P1 3 5/8" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" GYPSUM WALL BOARD BOTH SIDES, FLOOR TO DECK & 3 1/2" ACOUSTIC BATT INSULATION

P2 3 5/8" 24 GAUGE METAL STUDS @ 16" O.C. w/ FIBER REINFORCED WATER-RESISTANT GYPSUM WALLBOARD & CERAMIC TILE ONE SIDE, AND 5/8" GYPSUM WALL BOARD OTHER SIDE, AND 3 1/2" ACOUSTIC BATT INSULATION

P3 (UL 149 1 HOUR RATED WALL ASSEMBLY) 6" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" TYPE 'X' FIRE RATED GYPSUM WALL BOARD & RC-1 RESILIENT CHANNEL ONE SIDE, 5/8" TYPE 'X' FIRE RATED GYPSUM WALL BOARD OTHER SIDE & MIN 3" MINERAL WOOL ACOUSTIC INSULATION BETWEEN STUDS (STC 53 SOUND RATING)

CASEWORK KEY

- CASEWORK (BUILT IN)
- FF&E (N.L.C.)

CEILING FINISH KEY

- 5/8" GYPSUM WALLBOARD ON METAL FRAMING WITH DIAGONAL BRACING TO STRUCTURE ABOVE
- EXISTING TO REMAIN

GENERAL PLAN NOTES

- DIMENSIONS ARE FROM FACE OF FINISH, FACE OF MASONRY, OR CENTERLINE OF COLUMN.
- INTERIOR WALL STUDS TO BE 3-5/8" THICK UNLESS NOTED OTHERWISE. THE 3-5/8" DIMENSION HAS BEEN OMITTED FROM INTERIOR DIMENSION STRINGS FOR CLARITY. BRACE AS REQUIRED.
- SET DOOR JAMB ON HINGE SIDE 4" FROM FINISHED FACE OF ADJACENT WALL UNLESS NOTED OTHERWISE.
- PROVIDE WATER RESISTANT GYPSUM WALLBOARD (GWB) IN ALL BATHROOMS WITH GLASS MESH MORTAR UNITS BEHIND CERAMIC TILE.
- PROVIDE GWB CONTROL JOINTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. OBTAIN ARCHITECT'S APPROVAL OF LOCATIONS PRIOR TO CONSTRUCTION.
- RUN ALL PARTITIONS TO UNDERSIDE OF FLOOR/CEILING FRAMING OR ROOF DECKING & INCLUDE ACOUSTIC BATT UNLESS NOTED OTHERWISE.
- CONTRACTOR IS RESPONSIBLE FOR TEMPORARY POWER SERVICE DURING CONSTRUCTION. A NEW ELECTRIC SERVICE WILL BE REQUIRED FOR THE BUILDING.

GENERAL CEILING NOTES

- SEE ELECTRICAL DRAWINGS FOR ELECTRICAL FIXTURE TYPES.
- SEE MECHANICAL DRAWINGS FOR HVAC ELEMENT TYPES.
- REMOVE EXISTING CEILING AS REQUIRED FOR NEW CONSTRUCTION, TYPICALLY THE ENTIRE CEILING SYSTEM IS DEMOLISHED U.N.O. PROVIDE NEW CEILING AND RELOCATE SMOKE DETECTORS, AND EXIT SIGNS AS REQUIRED.
- COORDINATE NEW SPRINKLER LAYOUT WITH LIGHTING & HVAC ELEMENTS AND REVIEW WITH ARCHITECT VIA A SHOP DRAWING SUBMITAL.
- RUN LINEAR PERIMETER LIGHT WALL TO WALL AND EXTEND UP WALL SURFACE INTO THE SLOT TO THE LIGHT DIFFUSER (NOT STOP AT THE CEILING HEIGHT).

No.	Description	Date

100 N. 13TH ST.
ENLARGED
TYPICAL UNIT
PLANS

Project Number	2020.0113
Date	NFC
Drawn By	VS
Checked By	CDD

A402

1/8/2021 PROGRESS
NOT FOR CONSTRUCTION

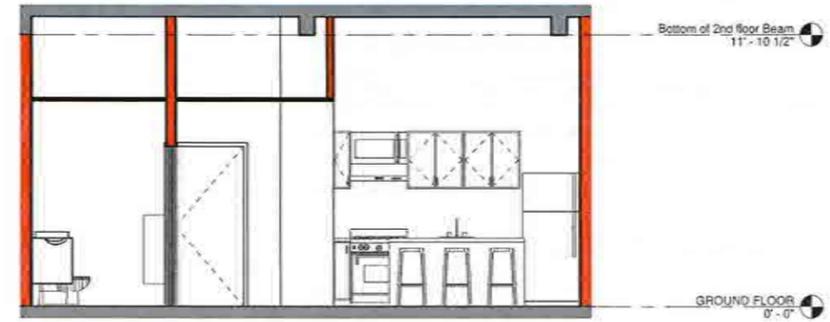
Scale As indicated



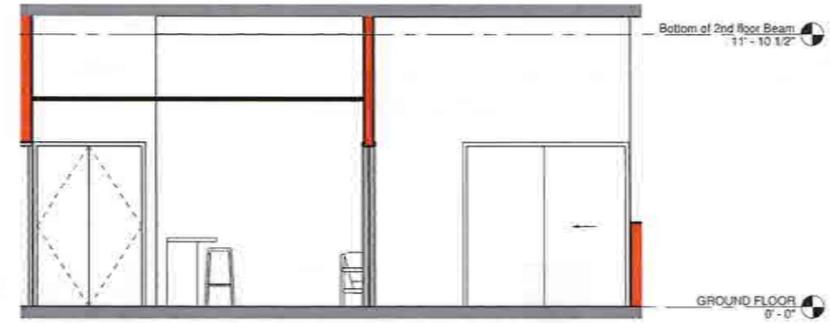
5 UNIT 1D - INTERIOR PERSPECTIVE 1
A403 SCALE:



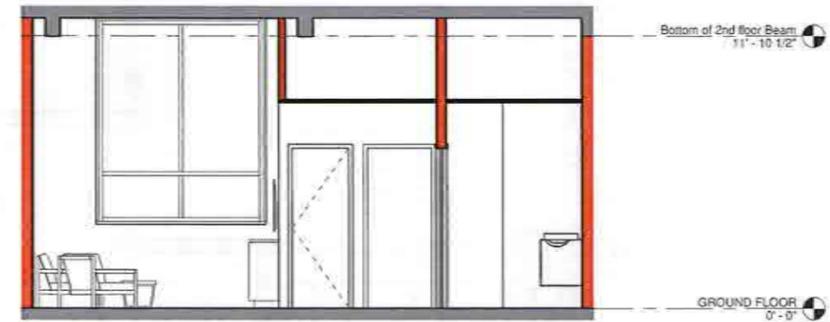
6 UNIT 1D - INTERIOR PERSPECTIVE 2
A403 SCALE:



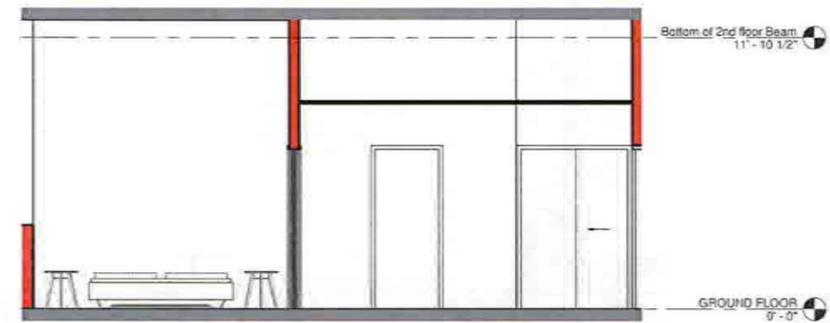
1 UNIT 1D - SOUTH ELEVATION
A403 SCALE: 1/4" = 1'-0"



2 UNIT 1D - WEST ELEVATION
A403 SCALE: 1/4" = 1'-0"



3 UNIT 1D - NORTH ELEVATION
A403 SCALE: 1/4" = 1'-0"



4 UNIT 1D - EAST ELEVATION
A403 SCALE: 1/4" = 1'-0"

ARCHITECT

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No.	Description	Date

100 N. 13TH ST.

ENLARGED
TYPICAL UNIT
ELEVATIONS &
PERSPECTIVES

Project Number	2020.0113
Date	NFC
Drawn By	VS
Checked By	CDD

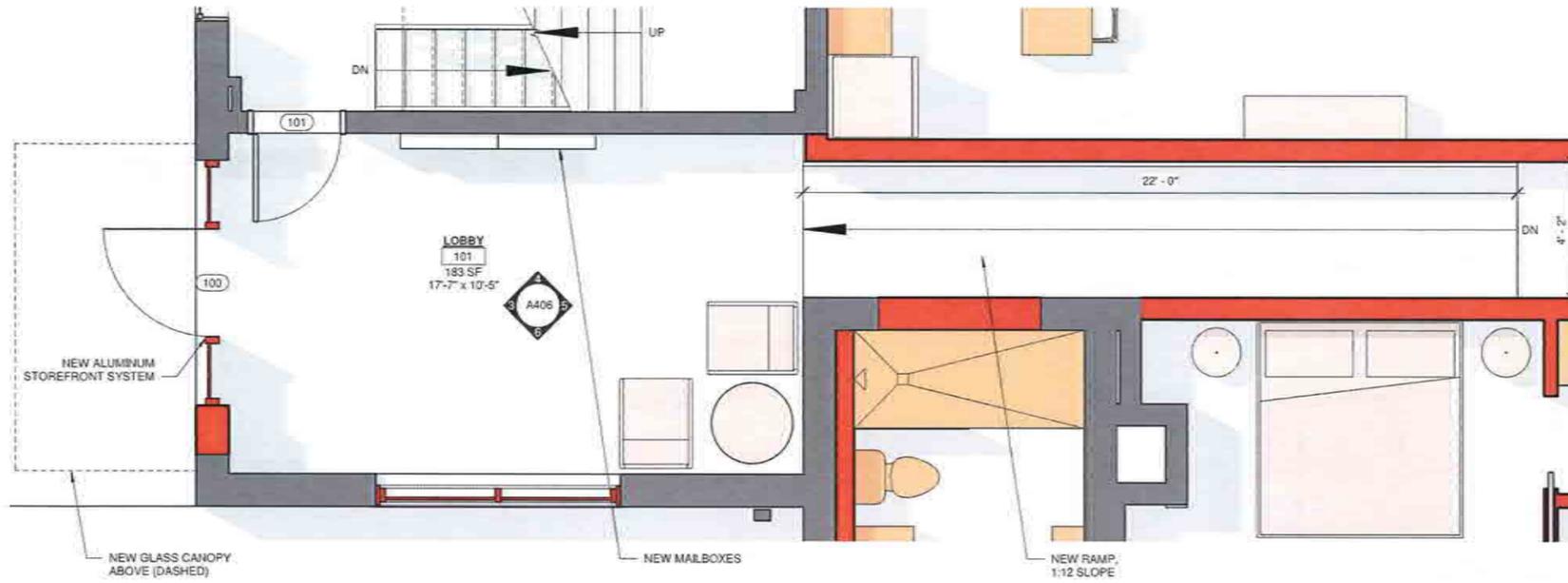
A403

Scale: 1/4" = 1'-0"

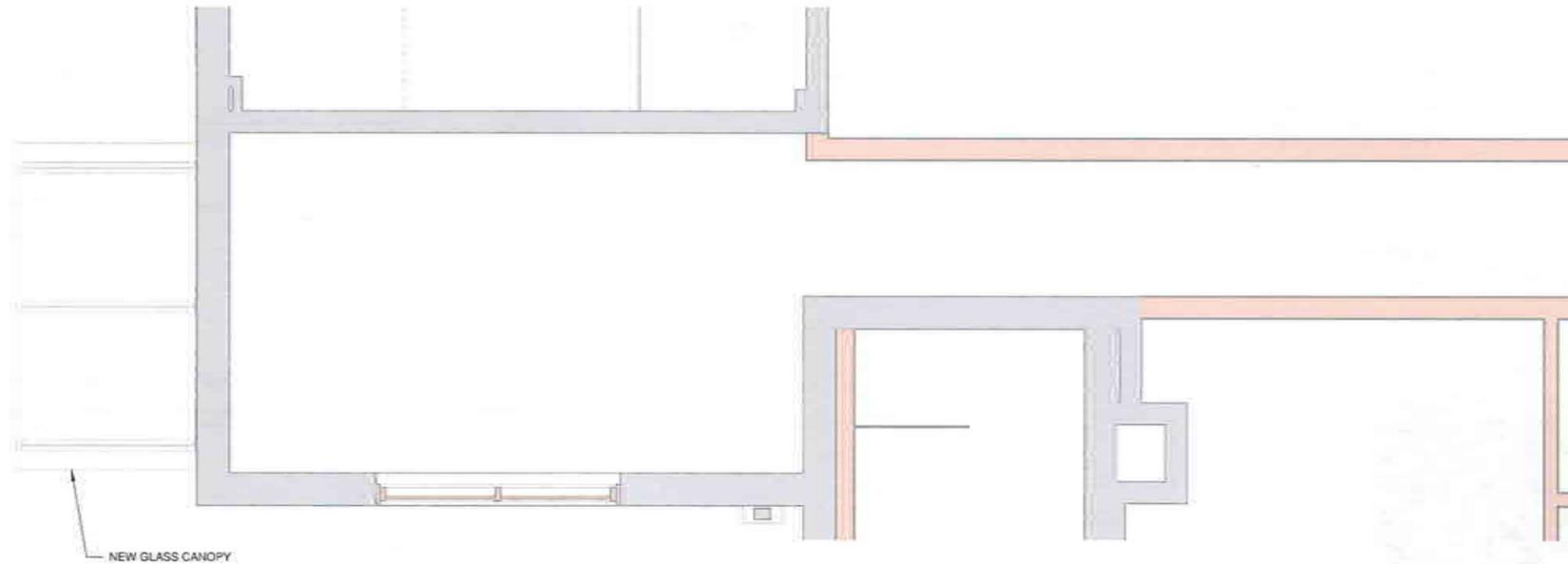
1/8/2021 PROGRESS
NOT FOR CONSTRUCTION

ARCHITECT

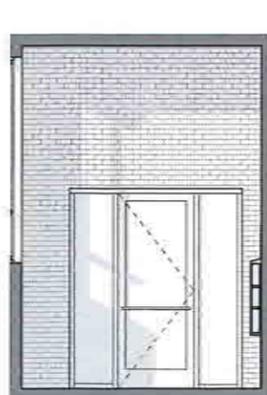
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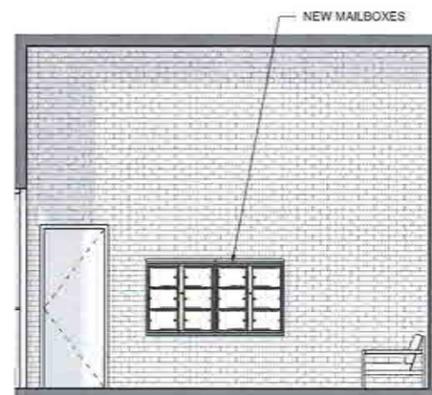
1 ENLARGED PLAN - LOBBY
A406 SCALE: 3/8" = 1'-0"



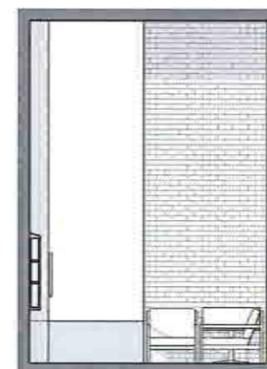
2 REFLECTED CEILING PLAN - LOBBY
A406 SCALE: 3/8" = 1'-0"



3 LOBBY - SOUTH ELEVATION
A406 SCALE: 1/4" = 1'-0"



4 LOBBY - WEST ELEVATION
A406 SCALE: 1/4" = 1'-0"



5 LOBBY - NORTH ELEVATION
A406 SCALE: 1/4" = 1'-0"



5 LOBBY - EAST ELEVATION
A406 SCALE: 1/4" = 1'-0"

GENERAL PLAN NOTES

1. DIMENSIONS ARE FROM FACE OF FINISH, FACE OF MASONRY, OR CENTERLINE OF COLUMN
2. INTERIOR WALL STUDS TO BE 3-5/8" THICK UNLESS NOTED OTHERWISE. THE 3-5/8" DIMENSION HAS BEEN OMITTED FROM INTERIOR DIMENSION STRINGS FOR CLARITY. BRACE AS REQUIRED.
3. SET DOOR JAMS ON HINGE SIDE 4" FROM FINISHED FACE OF ADJACENT WALL UNLESS NOTED OTHERWISE
4. PROVIDE WATER RESISTANT GYPSUM WALLBOARD (GWB) IN ALL BATHROOMS WITH GLASS MESH MORTAR UNITS BEHIND CERAMIC TILE
5. PROVIDE GWB CONTROL JOINTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. OBTAIN ARCHITECT'S APPROVAL OF LOCATIONS PRIOR TO CONSTRUCTION
6. RUN ALL PARTITIONS TO UNDERSIDE OF FLOOR/CEILING FRAMING OR ROOF DECKING & INCLUDE ACOUSTIC BATT UNLESS NOTED OTHERWISE
7. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY POWER SERVICE DURING CONSTRUCTION. A NEW ELECTRIC SERVICE WILL BE REQUIRED FOR THE BUILDING.

GENERAL CEILING NOTES

1. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL FIXTURE TYPES
2. SEE MECHANICAL DRAWINGS FOR HVAC ELEMENT TYPES
3. REMOVE EXISTING CEILING AS REQUIRED FOR NEW CONSTRUCTION. TYPICALLY THE ENTIRE CEILING SYSTEM IS DEMOLISHED U.N.O. PROVIDE NEW CEILING AND RELOCATE SMOKE DETECTORS, AND EXIT SIGNS AS REQUIRED
4. COORDINATE NEW SPRINKLER LAYOUT WITH LIGHTING & HVAC ELEMENTS AND REVIEW WITH ARCHITECT VIA A SHOP DRAWING SUBMITAL
5. RUN LINEAR PERIMETER LIGHT WALL TO WALL AND EXTEND UP WALL SURFACE INTO THE SLOT TO THE LIGHT DIFFUSER (NOT STOP AT THE CEILING HEIGHT)

PARTITION KEY

SEE INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR FINAL WALL FINISH MATERIAL

- NEW WALL CONSTRUCTION
- EXISTING WALL CONSTRUCTION
- P1 3 5/8" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" GYPSUM WALL BOARD BOTH SIDES, FLOOR TO DECK & 3 1/2" ACOUSTIC BATT INSULATION
- P2 3 5/8" 24 GAUGE METAL STUDS @ 16" O.C. w/ FIBER REINFORCED WATER-RESISTANT GYPSUM WALLBOARD & CERAMIC TILE ONE SIDE, AND 5/8" GYPSUM WALL BOARD OTHER SIDE, AND 3 1/2" ACOUSTIC BATT INSULATION
- P3 (UL U149 1 HOUR RATED WALL ASSEMBLY) 5" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" TYPE 'X' FIRE RATED GYPSUM WALL BOARD & RC-1 RESILIENT CHANNEL ONE SIDE, 5/8" TYPE 'X' FIRE RATED GYPSUM WALL BOARD OTHER SIDE & MIN 3" MINERAL WOOD ACOUSTIC INSULATION BETWEEN STUDS (STC 53 SOUND RATING)
- P4 (UL U149 1 HOUR RATED WALL ASSEMBLY) 5" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" TYPE 'X' FIRE RATED GYPSUM WALL BOARD & RC-1 RESILIENT CHANNEL ONE SIDE, 5/8" TYPE 'X' FIRE RATED w/ FIBER REINFORCED WATER-RESISTANT GYPSUM WALLBOARD & CERAMIC TILE OTHER SIDE & MIN 3" MINERAL WOOD ACOUSTIC INSULATION BETWEEN STUDS (STC 53 SOUND RATING)
- P5 NOT USED
- P6 5" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" GYPSUM WALL BOARD ON INTERIOR SIDE OF EXISTING EXTERIOR WALL & 6" BATT INSULATION (R-20 MIN.)
- P7 5" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" FIBER REINFORCED WATER-RESISTANT GYPSUM WALLBOARD & CERAMIC TILE ON INTERIOR SIDE OF EXISTING EXTERIOR WALL & 6" BATT INSULATION (R-20 MIN.)
- P8 (UL U149 1 HOUR RATED WALL ASSEMBLY) 5" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" TYPE 'X' FIBER REINFORCED WATER-RESISTANT GYPSUM WALLBOARD & CERAMIC TILE & RC-1 RESILIENT CHANNEL ONE SIDE, 5/8" TYPE 'X' FIRE RATED w/ FIBER REINFORCED WATER-RESISTANT GYPSUM WALLBOARD & CERAMIC TILE OTHER SIDE & MIN 3" MINERAL WOOD ACOUSTIC INSULATION BETWEEN STUDS (STC 53 SOUND RATING)

CASEWORK KEY

- CASEWORK (BUILT IN)
- FF&E (N.I.C.)

CEILING FINISH KEY

- 5/8" GYPSUM WALLBOARD ON METAL FRAMING WITH DIAGONAL BRACING TO STRUCTURE ABOVE
- EXISTING TO REMAIN

No.	Description	Date

100 N. 13TH ST.
ENLARGED LOBBY

Project Number	2020.0113
Date	NFC
Drawn By	VS
Checked By	CDD

A406

1/8/2021 PROGRESS
NOT FOR CONSTRUCTION

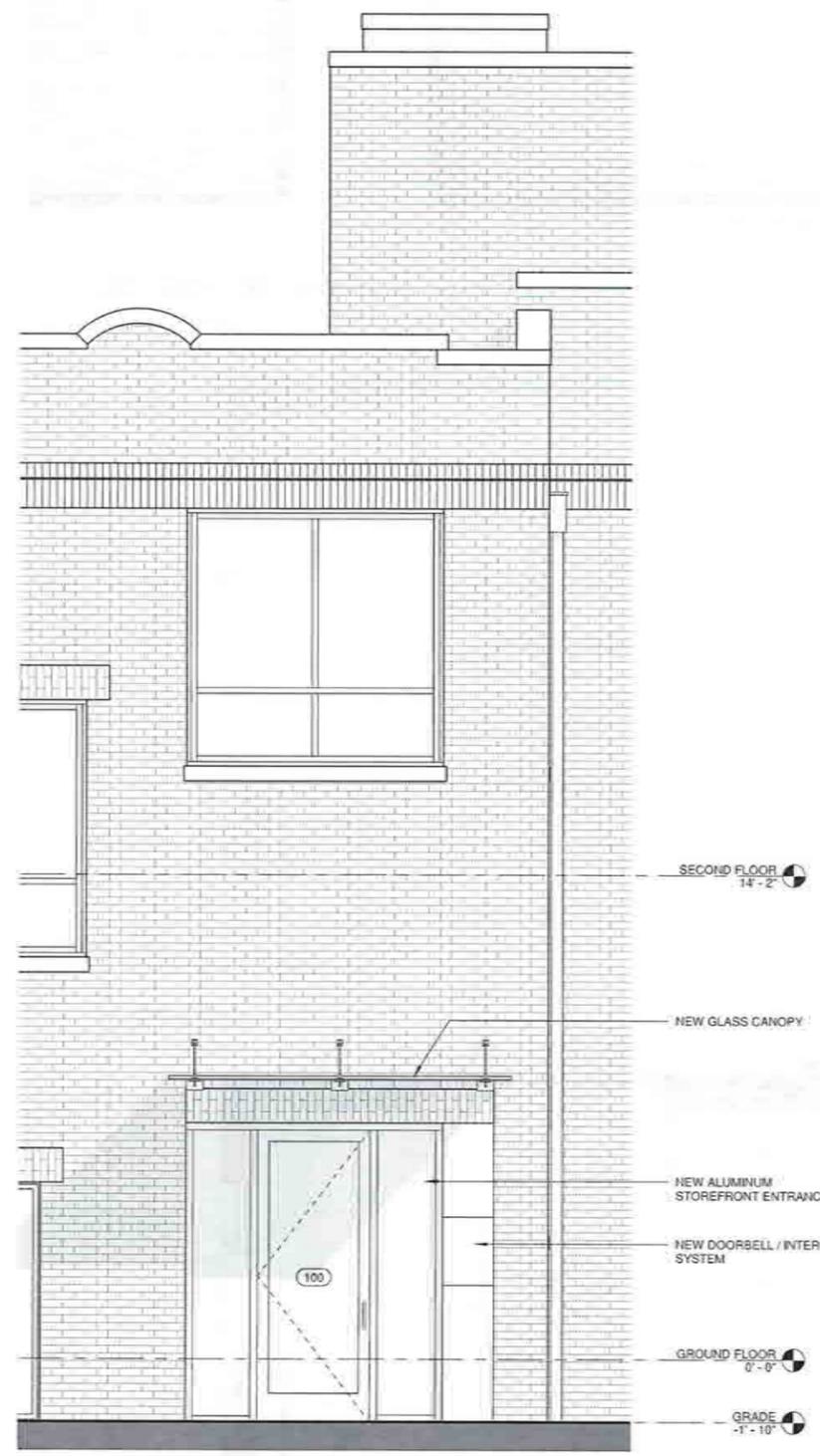
Scale As indicated

ARCHITECT

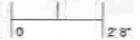
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 chris@chrisdawsonarchitect.com



EXISTING CONDITION PHOTO



1 SOUTH ENTRANCE ELEVATION
 A407 SCALE: 3/8" = 1'-0"



2 SOUTH ENTRANCE AXON
 A407 SCALE:

No.	Description	Date

100 N. 13TH ST.
 SOUTH ENTRANCE

Project Number	2020.0113
Date	NFC
Drawn By	VS
Checked By	CDD

A407

Scale 3/8" = 1'-0"

1/8/2021 PROGRESS
 NOT FOR CONSTRUCTION

BASEMENT & GROUND FLOOR DOOR / FRAME / HARDWARE SCHEDULE

NO.	DOOR						FRAME						HARDWARE SETS	REMARKS
	SIZE			TYPE	MATL	FINISH	TYPE	MATL	FINISH	DETAIL				
	WIDTH	HEIGHT	THK.							HEAD	JAMB	SILL		
001	3'-0"	7'-0"	1 3/4"											
100	3'-3 1/2"	8'-6 1/2"	1 3/4"											
101	2'-8"	7'-0"	1 3/4"											
102	3'-0"	6'-8"	1 3/4"											
103	5'-8"	7'-0"	1 3/8"											
110	3'-0"	7'-0"	1 3/4"											
111	2'-10"	7'-0"	1 3/4"											
112	2'-10"	7'-0"	1 3/4"											
113	2'-8"	7'-0"	1 3/4"											
114	2'-6"	7'-0"	1 3/4"											
115	2'-3 1/2"	7'-0"	1 3/4"											
116	7'-0"	7'-0"	1 3/4"											
120	3'-0"	7'-0"	1 3/4"											
121	2'-10"	7'-0"	1 3/4"											
122	2'-10"	7'-0"	1 3/4"											
123	4'-8 1/2"	7'-0"	1 3/4"											
124	2'-6"	7'-0"	1 3/4"											
125	2'-3 1/2"	7'-0"	1 3/4"											
126	7'-0"	7'-0"	1 3/4"											
130	3'-0"	7'-0"	1 3/4"											
131	2'-10"	7'-0"	1 3/4"											
132	5'-0"	7'-0"	1 3/4"											
133	2'-8"	7'-0"	1 3/4"											
134	2'-10"	7'-0"	1 3/4"											
135	2'-10"	7'-0"	1 3/4"											
136	4'-8"	7'-0"	1 3/4"											
137	4'-8"	7'-0"	1 3/4"											
140	3'-0"	7'-0"	1 3/4"											
141	2'-10"	7'-0"	1 3/4"											
142	2'-10"	7'-0"	1 3/4"											
143	4'-8 1/2"	7'-0"	1 3/4"											
145	2'-6"	7'-0"	1 3/4"											
146	4'-8"	7'-0"	1 3/4"											
147	7'-0"	7'-0"	1 3/4"											
150	3'-0"	7'-0"	1 3/4"											
151	3'-4"	7'-0"	1 3/4"											
152	2'-10"	7'-0"	1 3/4"											
153	3'-4"	7'-0"	1 3/4"											
154	2'-6"	7'-0"	1 3/4"											
155	2'-3 1/2"	7'-0"	1 3/4"											
156	4'-8 1/2"	7'-0"	1 3/4"											
160	3'-0"	7'-0"	1 3/4"											
161	2'-10"	7'-0"	1 3/4"											
162	2'-10"	7'-0"	1 3/4"											
163	2'-6"	7'-0"	1 3/4"											
164	5'-0"	7'-0"	1 3/4"											
165	5'-0"	7'-0"	1 3/4"											
166	5'-0"	7'-0"	1 3/4"											



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No.	Description	Date

**100 N. 13TH ST.
DOOR SCHEDULE**

Project Number: 2020.0113
Date: NFC
Drawn By: Author
Checked By: Checker

A501

1/8/2021 PROGRESS
NOT FOR CONSTRUCTION

Scale:

SECOND FLOOR DOOR / FRAME / HARDWARE SCHEDULE

NO.	DOOR			FRAME									HARDWARE SETS	REMARKS
	SIZE			TYPE	MATL	FINISH	TYPE	MATL	FINISH	DETAIL				
	WIDTH	HEIGHT	THK.							HEAD	JAMB	SILL		
200	3'-0"	7'-0"	1 3/4"											
201	3'-0"	7'-0"	1 3/4"											
202	2'-10"	7'-0"	1 3/4"											
210	3'-0"	7'-0"	1 3/4"											
211	2'-10"	7'-0"	1 3/4"											
212	2'-10"	7'-0"	1 3/4"											
213	4'-8 1/2"	7'-0"	1 3/4"											
214	2'-6"	7'-0"	1 3/4"											
215	2'-6"	7'-0"	1 3/4"											
216	7'-0"	7'-0"	1 3/4"											
220	3'-0"	7'-0"	1 3/4"											
221	2'-10"	7'-0"	1 3/4"											
222	2'-10"	7'-0"	1 3/4"											
223	4'-8 1/2"	7'-0"	1 3/4"											
224	2'-6"	7'-0"	1 3/4"											
225	2'-6"	7'-0"	1 3/4"											
226	7'-0"	7'-0"	1 3/4"											
230	3'-0"	7'-0"	1 3/4"											
231	2'-10"	7'-0"	1 3/4"											
232	5'-0"	7'-0"	1 3/4"											
233	2'-10"	7'-0"	1 3/4"											
234	2'-10"	7'-0"	1 3/4"											
235	2'-10"	7'-0"	1 3/4"											
236	4'-8"	7'-0"	1 3/4"											
237	4'-8"	7'-0"	1 3/4"											
240	3'-0"	7'-0"	1 3/4"											
241	2'-10"	7'-0"	1 3/4"											
242	2'-10"	7'-0"	1 3/4"											
243	4'-8 1/2"	7'-0"	1 3/4"											
245	2'-6"	7'-0"	1 3/4"											
246	4'-8"	7'-0"	1 3/4"											
247	7'-0"	7'-0"	1 3/4"											
250	3'-0"	7'-0"	1 3/4"											
251	3'-4"	7'-0"	1 3/4"											
252	2'-10"	7'-0"	1 3/4"											
253	3'-4"	7'-0"	1 3/4"											
254	2'-6"	7'-0"	1 3/4"											
255	2'-3 1/2"	7'-0"	1 3/4"											
256	4'-8 1/2"	7'-0"	1 3/4"											
260	3'-0"	7'-0"	1 3/4"											
261	2'-10"	7'-0"	1 3/4"											
262	2'-10"	7'-0"	1 3/4"											
263	2'-6"	7'-0"	1 3/4"											
264	5'-0"	7'-0"	1 3/4"											
265	5'-0"	7'-0"	1 3/4"											
266	5'-0"	7'-0"	1 3/4"											



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ARCHITECT

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717-805-5090
chris@chrisdawsonarchitect.com

No.	Description	Date

**100 N. 13TH ST.
DOOR SCHEDULE**

Project Number 2020.0113
Date NFC
Drawn By Author
Checked By Checker

A502

1/8/2021 PROGRESS
NOT FOR CONSTRUCTION

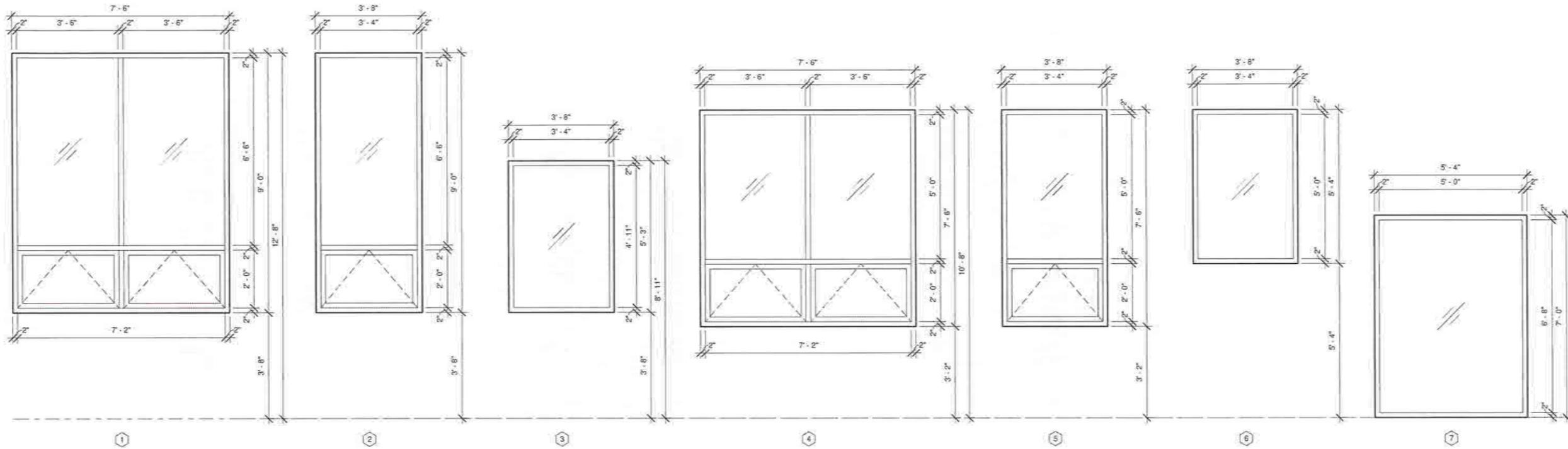
Scale

WINDOW SCHEDULE

NO.	ROUGH HEIGHT	ROUGH WIDTH	SILL HEIGHT	HEAD HEIGHT	COUNT	B.O.D. MANUFACTURER	MODEL	INTERIOR FRAME FINISH	EXTERIOR FRAME FINISH	COMMENTS
1	9'-0"	7'-6"	3'-8"	12'-8"	21					
2	9'-0"	3'-8"	3'-8"	12'-8"	1					
3	5'-3"	3'-8"	3'-8"	8'-11"	1					
4	7'-6"	7'-6"	3'-2"	10'-8"	24					
5	7'-6"	3'-8"	3'-2"	10'-8"	1					
6	5'-4"	3'-8"	5'-4"	10'-8"	2					
7	5'-4"	7'-0"	0'-0"	7'-0"	1					

ARCHITECT

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1 WINDOW TYPES
A504 SCALE: 1/2" = 1'-0"

No.	Description	Date

100 N. 13TH ST.
WINDOW SCHEDULE, TYPES, DETAILS

Project Number	2020.0113
Date	NFC
Drawn By	VS
Checked By	CDD

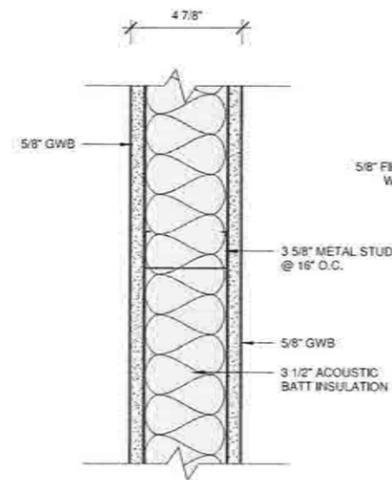
A504

Scale 1/2" = 1'-0"

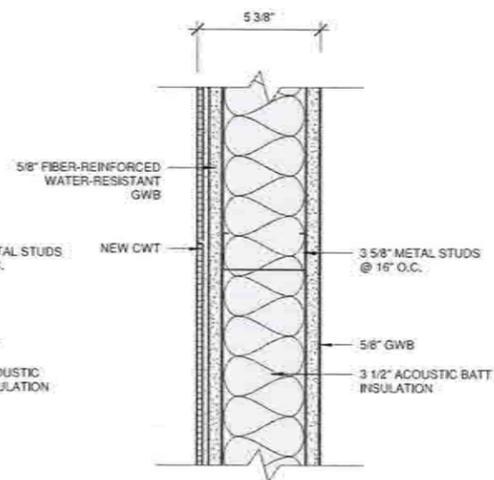
1/8/2021 PROGRESS
NOT FOR CONSTRUCTION

ARCHITECT

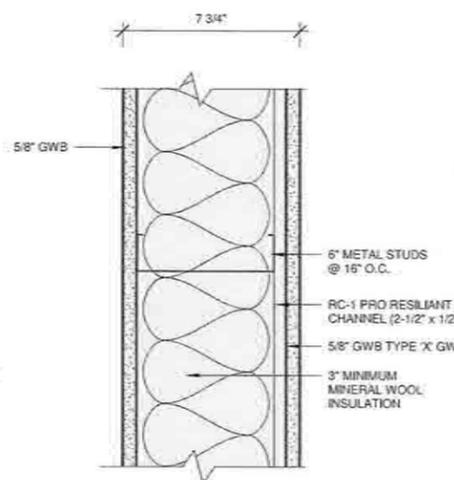
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P1 WALL TYPE 1

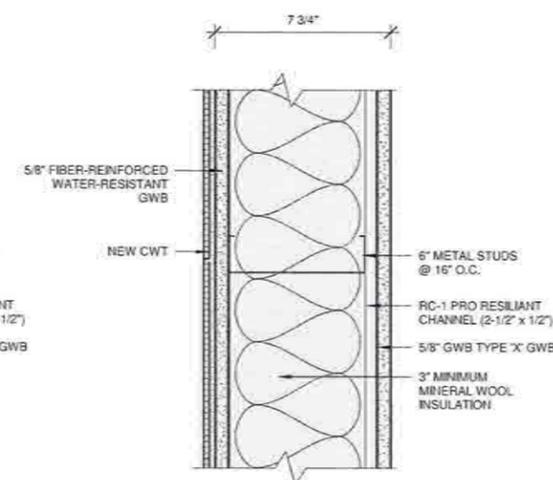


P2 WALL TYPE 2



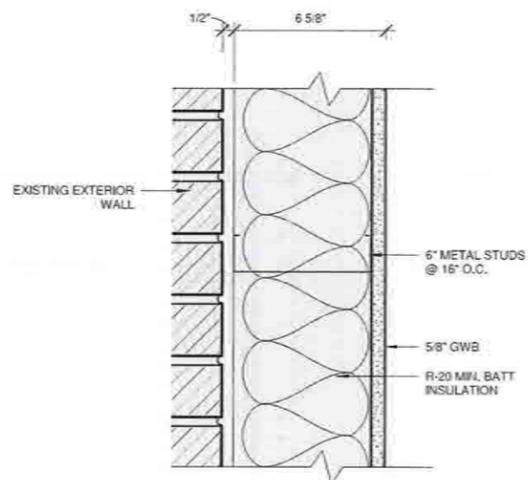
P3 WALL TYPE 3

UL# U-419
1 HOUR RATED WALL ASSEMBLY
STC-120308 (STC 53 RATING)

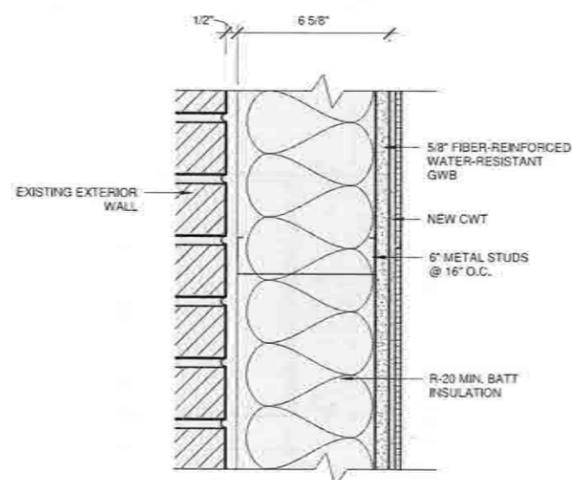


P4 WALL TYPE 3

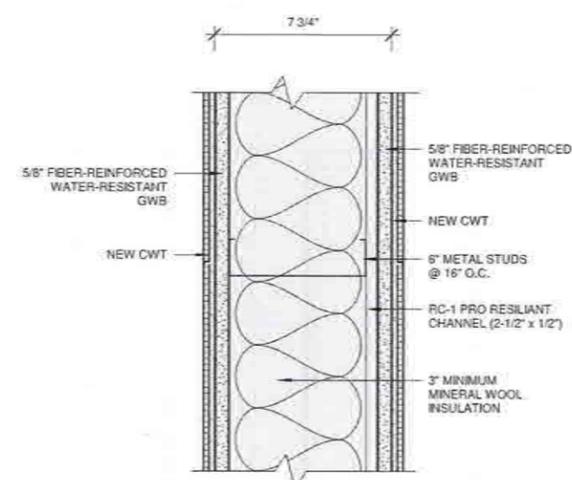
UL# U-419
1 HOUR RATED WALL ASSEMBLY
STC-120308 (STC 53 RATING)



P6 WALL TYPE 6



P7 WALL TYPE 7



P8 WALL TYPE 8

UL# U-419
1 HOUR RATED WALL ASSEMBLY
STC-120308 (STC 53 RATING)

1 PARTITION TYPES
A505 SCALE: 3" = 1'-0"



No.	Description	Date

100 N. 13TH ST.
PARTITION TYPES

Project Number	2020.0113
Date	NFC
Drawn By	JW
Checked By	CD

A505

Scale 3" = 1'-0"

1/8/2021 PROGRESS
NOT FOR CONSTRUCTION

NOTIFICATION OF ZONING APPLICATION SUBMITTAL

TO: Adjacent Property Owner

FROM: Greg Radon

DATE: 03/24/21

The following application has been submitted for review to the City of Harrisburg Planning Department:

- Special Exception to establish a Multifamily Dwelling.
- Special Exception for partial relief from the off-street parking requirement.
- Variance for encroachment of the parking area into rear yard setback
- Variance for encroachment of the parking area into front yard setback
- Variance for relief from the landscaping requirements for parking lots outlined in Section 7-307.12

Applicant: Greg Radon

Property Location: 100 N 13th Street

Meetings: This application will be heard at the April 7th Planning Commission meeting (at 6:30 PM) and the April 19th Zoning Hearing Board meeting (at 6:00 PM) via Zoom online meeting platform. Please feel welcome to attend and comment. You can find phone and Zoom website access information on the City's main landing page under the "Events" tab.

Requested Zoning District: RM - Residential Medium Density/Midtown

Requested Use/Exception: We are submitting a Special Exception to establish an apartment building via the rehabilitation of this vacant 11,500 sf former industrial warehouse into 12 affordable house units (permitted by special exception 7-305.7). We are also seeking special exception from the required 14 off-street parking spaces (per 7-327.6) by providing 12 spaces (2 short or 86% of the required) to the northwest of the building accessed via N. Linden Street. In addition, we are seeking variances on the setback requirements and landscaping requirements for parking lots (per 7-307.12).

The application will be available for viewing at the City of Harrisburg Planning Department. The Planning Department shall notify all adjacent property owners of the time, day, and place of the public hearings to be held on this application. Should you have any questions or comments, please contact the Planning Department at (717) 255-6637.



History

Jobs In Process

Date	Job Title (ID)	Sent To	Status	View
You do not have any jobs in production at this time. Send one now!				

Completed Jobs

Date	Job Title (ID)	Sent To	Status	View
3/30/21 10:58 am	100 N 13th St Job# 4251145	9214890142980458858117 To Owner 131 N Linden St Harrisburg PA 17103	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	9214890142980458858124 To Owner 125 N Linden St Harrisburg PA 17103	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	9214890142980458858131 To Owner 123 N Linden St Harrisburg PA 17103	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	9214890142980458858148 To Owner 121 N Linden St Harrisburg PA 17103	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	9214890142980458858155 To Owner 130 N Linden St Harrisburg PA 17103	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	9214890142980458858162 To Owner 128 N Linden St Harrisburg PA 17103	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	9214890142980458858179 To Owner 126 N Linden St Harrisburg PA 17103	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	9214890142980458858186 To Owner 118 N Linden St Harrisburg PA 17103	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	9214890142980458858193 To Owner 116 N Linden St Harrisburg PA 17103	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	9214890142980458858209 To Owner 112 N Linden St Harrisburg PA 17103	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	9214890142980458858216 To Owner	Mailed	View Letter

Help

3/30/21 10:58 am	100 N 13th St Job# 4251145	114 N Linden St Harrisburg PA 17103 9214890142980458858223 To Owner	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	110 N Linden St Harrisburg PA 17103 9214890142980458858230 To Owner	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	108 N Linden St Harrisburg PA 17103 9214890142980458858247 To Owner	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	106 N Linden St Harrisburg PA 17103 9214890142980458858254 To Owner	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	104 N Linden St Harrisburg PA 17103 9214890142980458858261 To Owner	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	43 N Linden St Harrisburg PA 17103 9214890142980458858278 To Owner	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	114 N 13th St Harrisburg PA 17103 9214890142980458858285 To Owner	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	116 N Linden St Harrisburg PA 17103 9214890142980458858292 To Owner	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	120 N 13TH ST Harrisburg PA 17103 9214890142980458858308 To Owner	Mailed	View Letter
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3/30/21 10:58 am	100 N 13th St Job# 4251145	132 N 13th St Harrisburg PA 17103 9214890142980458858346 To Owner	Mailed	View Letter
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3/30/21 10:58 am	100 N 13th St Job# 4251145	70 N 13th St Harrisburg PA 17103 9214890142980458858360 To Owner	Mailed	View Letter

3/30/21 10:58 am	100 N 13th St Job# 4251145	68 N 13th St Harrisburg PA 17103 9214890142980458858377 To Owner	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	62 N 13th St Harrisburg PA 17103 9214890142980458858384 To Owner	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	63 N 13th St Harrisburg PA 17103 9214890142980458858391 To Owner	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	59 N 13th St Harrisburg PA 17103 9214890142980458858407 To Owner	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	57 N 13th St Harrisburg PA 17103 9214890142980458858414 To Owner	Mailed	View Letter
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3/30/21 10:58 am	100 N 13th St Job# 4251145	105 N 13th St Harrisburg PA 17103 9214890142980458858438 To Owner	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	107 N 13th St Harrisburg PA 17103 9214890142980458858445 To Owner	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	109 N 13th St Harrisburg PA 17103 9214890142980458858452 To Owner	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	111 N 13th St Harrisburg PA 17103 9214890142980458858469 To Owner	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	113 N 13th St Harrisburg PA 17103 9214890142980458858476 To Owner	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	115 N 13th St Harrisburg PA 17103 9214890142980458858483 To Owner	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	121 N 13th St Harrisburg PA 17103 9214890142980458858490 To Owner	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	123 N 13th St Harrisburg PA 17103 9214890142980458858506 To Owner	Mailed	View Letter
3/30/21 10:58 am	100 N 13th St Job# 4251145	127 N 13th St Harrisburg PA 17103 9214890142980458858513 To Owner	Mailed	View Letter

3/30/21 10:58 am	100 N 13th St Job# 4251145	1248 Walnut St Harrisburg PA 17103 <u>9214890142980458858520</u> To Owner	<u>Mailed</u>	<u>View Letter</u>
3/30/21 10:58 am	100 N 13th St Job# 4251145	1246 Walnut St Harrisburg PA 17103 <u>9214890142980458858537</u> To Owner	<u>Mailed</u>	<u>View Letter</u>
3/30/21 10:58 am	100 N 13th St Job# 4251145	1244 Walnut St Harrisburg PA 17103 <u>9214890142980458858544</u> To Owner	<u>Mailed</u>	<u>View Letter</u>
3/30/21 10:58 am	100 N 13th St Job# 4251145	1242 Walnut St Harrisburg PA 17103 <u>9214890142980458858551</u> To Owner	<u>Mailed</u>	<u>View Letter</u>
3/30/21 10:58 am	100 N 13th St Job# 4251145	1240 Walnut St Harrisburg PA 17103 <u>9214890142980458858568</u> To Owner	<u>Mailed</u>	<u>View Letter</u>
3/30/21 10:58 am	100 N 13th St Job# 4251145	1250 Walnut St Harrisburg PA 17103 <u>9214890142980458858575</u> To Owner	<u>Mailed</u>	<u>View Letter</u>
3/30/21 10:58 am	100 N 13th St Job# 4251145	1252 Walnut St Harrisburg PA 17103 <u>9214890142980458858582</u> To Owner	<u>Mailed</u>	<u>View Letter</u>
3/30/21 10:58 am	100 N 13th St Job# 4251145	1254 Walnut St Harrisburg PA 17103 <u>9214890142980458858599</u> To Owner	<u>Mailed</u>	<u>View Letter</u>
		1256 Walnut St Harrisburg PA 17103		



Premises: 100 N. 13th Street, Harrisburg
112 N. 13th Street, Harrisburg
109, 111, 113, 115, 117, 117 ½, 119, 119 ½ Linden Street, Harrisburg

Parcel No. 08-025-049; 08-025-050; 08-025-029; 08-025-030;
08-025-031; 08-025-032; 08-025-033; 08-025-034; 08-025-035; 08-025-036

DEED

MADE THE 8th day of November, 2019

BETWEEN CPENN PATRIOT PROPERTIES-MIDTOWN, LLC, a Pennsylvania limited liability company, hereinafter referred to as:

Grantor,

AND

GREGORY RADON, an adult individual and hereinafter referred to as:

Grantee,

IN consideration of ONE HUNDRED THIRTY-FIVE THOUSAND DOLLARS and 00/100 (\$135,000.00), the receipt whereof is hereby acknowledged, the Grantor does hereby grant and convey to the Grantee, his heirs and assigns.

100 N. 13th Street – Parcel No. 08-025-050

ALL that certain tract or piece of land situate in the City of Harrisburg, County of Dauphin and Commonwealth of Pennsylvania, bounded and described as follows, to wit:

BEGINNING at a point at the northwest corner of Walnut and Thirteenth Streets; thence, northwardly along Thirteenth Street 96.2 feet to a point at lands now or late of the Estate of Margaret C. Colder, deceased, thence, along the same, westwardly, at right angles with Thirteenth Street 90 feet to a point on line of lands now or late of the Estate of John Miller; thence, southwardly along the same 104.8 feet to Walnut Street; thence, eastwardly along said Walnut Street 90.4 feet to the place of beginning.

HAVING thereon erected a two-story brick Publishing House (Building) known and numbered as 100 North 13th Street, Harrisburg

112 N. 13th Street – Parcel No. 08-025-049

ALL that certain lot or piece of ground situate in the City of Harrisburg, County of Dauphin and Commonwealth of Pennsylvania, bounded and described as follows, to wit:

BEGINNING at a point on the West side of North Thirteenth Street; thence, westwardly along land now or late of Joseph D. Ferry 90 feet, more or less, to the land now or formerly of the Estate of Ephraim L. Walmer; thence, southwardly along said land now or formerly of the Estate of Ephraim L. Walmer, 24 feet, more or less, to land now or formerly of the Central publishing house; thence, eastwardly along land now or formerly of the Central Publishing House 90 feet, more or less to the west side of North Thirteenth Street and thence, northwardly along the west side of said North Thirteenth Street 24 feet, more or less, to the place of beginning

HAVING thereon erected a three-story brick dwelling house known as and numbered 112 North Thirteenth Street, Harrisburg,

109 Linden Street – Parcel No. 08-025-036

ALL that certain lot of ground, with the building thereon erected situate in the 8th Ward of the City of Harrisburg, County of Dauphin and Commonwealth of Pennsylvania, bounded and described as follows:

BEGINNING at a point on the eastern line of Linden Street, said point being 99.36 feet, more or less, northwardly from the northeast corner of Walnut and Linden Streets, at the division line of the premises herein described and the premises No. 107 Linden Street, now or formerly owned by Marvin M. Gilbert, rt ux.; thence, in an eastwardly direction along the division line between the premises herein described and said premises No 107 Linden Street, and thru the middle of the partition wall separating the said properties and beyond for a distance of 60 feet, more or less, to a point on the western line of land, now or formerly of the General Eldership of the Churches of God in North America; thence, in a northerly direction along the western line of the land last mentioned, a distance of 15 feet, more or less; thence, in a westerly direction, a distance of 60 feet, more or less, to the eastern line of Linden Street, thence, in a southerly direction along the eastern line of Linden Street, a distance of 15 feet, more or less, to a point, the place of beginning.

111 Linden Street – Parcel No. 08-025-035

ALL that certain parcel of land, situate in the 8th Ward of the City of Harrisburg, County of Dauphin and Commonwealth of Pennsylvania, bounded and described as follows, to wit:

BEGINNING at a point on the eastern side of Linden Street; thence, along land now or formerly of Capital Bank and Trust Co., 60 feet to a point, a corner of land now or formerly of John H. Kreider and wife; thence, along the same southwardly 20 feet to a point of lands now or formerly of Harry Miller, thence, along the same westwardly 60 feet to a point on the eastern side of Linden Street; thence, along the eastern side of Linden Street northwardly 20 feet to a point, the

place of beginning.

113-115 Linden Street – Parcel No. 08-025-034 & 08-025-033

BEGINNING at a point on the east side of Linden Street, said point being 99.5 feet, more or less, south of the southeast corner of Calamus and Linden Streets; thence east and along property now or formerly of John L. Keister 58 feet to a point; thence, north on a line parallel with Linden Street 26.6 feet, more or less, to a point thence, west along the division line between property 115 and 117 Linden Street, 58 feet to the east side of Linden Street; thence, south along the east side of Linden Street, 26.6 feet, more or less, to the place of beginning.

A VACANT lot known and numbered No. 113 & 115 Linden Street

117 Linden Street – Parcel No. 08-025-032

ALL that certain tract or parcel of land situate in the City of Harrisburg, County of Dauphin, Pennsylvania being more particularly bounded and described as follows, to wit:

BEGINNING at a point on the east side of Linden Street and point being 59.5 feet south of the south side of Calamus Avenue; thence, eastwardly at right angles to Linden Street and line of property now or formerly of John J. Miller 58 feet to a point; thence, southwardly parallel with Linden Street along the line of property now or formerly of the Estate of Lydia Mumma, 13.04 feet to a point, thence, westwardly at right angles to Linden Street, along line of property of No. 115 Linden Street 58 feet to Linden Street, thence, northwardly along the east side of Linden Street to a point, the place of beginning.

A VACANT lot known and numbered No. 117 Linden Street

117 ½ Linden Street – Parcel No. 08-025-031

ALL that certain tract of land, situate in the 8th Ward of the City of Harrisburg, County of Dauphin and Commonwealth of Pennsylvania, bounded and described as follows:

BEGINNING at a point on the east side of Linden Street, said point being 45.98 feet, more or less, south from the southeast corner of Calamus and Linden Streets, thence, in an eastwardly direction and for part of the distance through the center of a partition wall between property herein conveyed and property numbered 119 Linden Street and beyond 60 feet to the western side of a 3 feet wide private alley; thence, southwardly along the west side of said alley 13.54 feet more or less to a point the intersection of another 3 foot wide private alley running from the last mentioned alley westwardly to Linden Street, thence, in a westwardly direction along the northern line of land mentioned 3 feet wide alley 60 feet to a point on the eastern side of Linden Street; thence, northwardly along the eastern line of Linden Street 13.54 feet, more or less, to a point, the place of beginning.

A VACANT lot known and numbered No. 117 ½ Linden Street.

119 Linden Street – Parcel No. 08-025-030

ALL that certain tract or parcel of land situate in the City of Harrisburg, Dauphin County, Pennsylvania being more particularly bounded and described as follows, to wit:

BEGINNING at a point on the east side of Linden Street said point being 32.44 feet southwardly from the south-east corner of Calmus and Linden Streets, thence, in an eastwardly direction and for part of the distance through the center of a partition wall between the property herein conveyed and property number 121 Linden Street, and beyond 60 feet to a point on the western line of a 3 feet wide private alley, thence, southwardly along the western line of said Alley 13.54 feet more or less to a point at line of property number 117 ½ Linden Street; thence, westwardly and for part of the distance through the center of a partition wall between the property herein conveyed and property No 117 ½ Linden Street and beyond 60 feet to the east side of Linden Street; thence northwardly along the eastern side of said mentioned street 13.54 feet, more or less, to a point and place of beginning.

119.5 Linden Street – Parcel No. 08-025-029

ALL that certain tract of land situate in the 8th Ward of the City of Harrisburg, Dauphin County, Pennsylvania described as follows:

BEGINNING at a point on the east side of Linden Street, the line of property now or formerly of J. Monroe Peters, said point being 19 feet southeast corner of Linden and Calamus Streets; thence, southwardly along the line of Linden Street 13.44 feet to a point, the line of property now or formerly of Joseph Blessing and the center of the partition wall of the buildings thereon erected; thence, eastwardly through the center of said partition wall 60 feet to a point, the western side of a 3 feet wide private alley; thence, northwardly along the line of said 3 feet wide private alleyway, 13.44 feet to a point, the line of property of now or formerly of J. Monroe Peters; thence westwardly along the line of property now or formerly of J. Monroe Peters 60 feet to the western line of Linden Street, the place of beginning.

BEING the same premises which Habitat for Humanity of the Greater Harrisburg Area, by deed dated July 19, 2016, and recorded August 12, 2016, in the Office of the Recorder of Deeds of Dauphin County, Pennsylvania, at Instrument Number 20160020530, granted and conveyed unto CPENN Patriot Properties-Midtown, LLC, a Pennsylvania Limited Liability Company, Grantor herein.

TOGETHER with all and singular, the tenements, hereditaments and appurtenances is the same belonging or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues, and profits thereof; and also all the estate, right, title, interest, property, claim and demand whatsoever, both in law and equity, of the said party of the first part, of, in, to

or out of the said premises, and every part and parcel thereof.

AND the said Grantor hereby covenants and agrees that it will warrant specially the property hereby conveyed.

[Signature Page to Follow]

IN WITNESS WHEREOF, said Grantor has hereunto set its hands and seals the day and year first above written.

ATTEST/WITNESS:

CPENN Patriot Properties-Midtown, LLC

By: *Ian Wewer*
Ian Wewer, Authorized Agent

COMMONWEALTH OF PENNSYLVANIA)

COUNTY OF Cumberland)

On this, the 8th day of November, 2019, before me, the undersigned officer, personally appeared Ian Wewer, who acknowledged himself to be the Authorized Agent of CPENN Patriot Properties-Midtown, LLC, a Pennsylvania limited liability company, and being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of CPENN Patriot Properties-Midtown, LLC as Authorized Agent.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Kathy C. Stump
Notary Public

Commonwealth of Pennsylvania - Notary Seal
Kathy C. Stump, Notary Public
Cumberland County
My commission expires September 11, 2022
Commission number 1162588
Member, Pennsylvania Association of Notaries

I hereby certify that the precise residence and complete post office address of the within
Grantee is: 4704 Richmond St. Phila. PA 19137

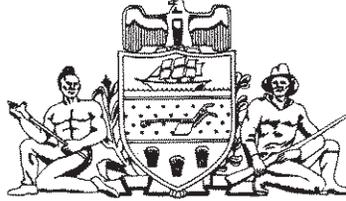

Attorney for Grantee

MARTSON
LAW OFFICES
10 EAST HIGH STREET
CARLISLE, PENNSYLVANIA 17013
TELEPHONE 717-243-3341
FACSIMILE 717-243-1850
INTERNET www.martsonlaw.com

James M. Zugay, Esq.
Recorder of Deeds
(717) 780-6560
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Candace E. Meck
First Deputy
www.dauphinc.org/deeds

Dauphin County



Recorder of Deeds

Harrisburg, Pennsylvania

CERTIFIED END PAGE

Location:
Dauphin County Courthouse
Room 102
101 Market Street
Harrisburg, PA 17101

INSTRUMENT #: 20200001204
RECORD DATE: 1/14/2020 8:34:55 AM
RECORDED BY: SKREVSKY
DOC TYPE: DEED HBG
AGENT: SIMPLIFILE
DIRECT NAME: CPENN PATRIOT PROPERTIES-MIDTOWN, LLC
INDIRECT NAME: RADON, GREGORY

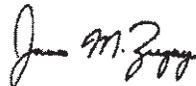
ACT 8 OF 1998: \$5.00
ADDITIONAL NAME FEE: \$6.00

COMMONWEALTH OF PA: \$1350.00
MUNICIPALITY: \$675.00 HARRISBURG CITY
SCHOOL DISTRICT: \$675.00 HARRISBURG
AOPC: \$40.25
AFFORDABLE HOUSING: \$13.00

DEMOLITION: \$15.00

UPICount: 10
UPIFee: 200
UPIList: 08-025-049-000-0000,08-025-050-000-0000,08-025-029-000-0000,08-025-030-000-0000,08-025-031-000-0000 et al

I Certify This Document To Be Recorded
In Dauphin County, Pennsylvania.



James M. Zugay, Recorder of Deeds



THIS IS A CERTIFICATION PAGE

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THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

Prepared by and Return to:
Capital Land Settlement Services, LLC
2101 Market Street
Camp Hill, PA 17011

File No.: CLS81039

107 Linden Street, Harrisburg, PA 17103

Parcel ID No.: 08-025-037

THIS INDENTURE, made the 10th day of February, 2021,

Between

BUILDING LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY, of 3810
Walnut Street, Harrisburg, Pennsylvania----- (hereinafter called the Grantor, of the one part

and

GREGORY RADON, ADULT INDIVIDUAL, ----- (hereinafter called the Grantee), of the
one part

WITNESSETH, that the said Grantor for and in consideration of the sum of **Five Thousand Five Hundred (\$5,500.00) Dollars**, lawful money of the United States of America, unto them well and truly paid by the said Grantee, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, have granted, bargained and sold, released and confirmed, and by these presents do grant, bargain and sell, release and confirm unto the said Grantee, sole owner.

ALL THAT CERTAIN of land situated in the Eight Ward of the City of Harrisburg, in the county of Dauphin and the State of Pennsylvania, bounded and described as follows, to wit:

BEGINNING at a point on the Eastern line of Linden Street, said point being eighty-four and thirty-six one hundredths (84.36) feet, more or less, Northwardly from the Northeastern corner of Walnut and Linden Streets and being at the dividing line between the property herein conveyed and premises Number 105 Linden Street, now or formerly owned by Edward Harrison; thence in an Eastwardly direction along the division line between the property herein conveyed and Number 105 Linden Street and through the middle of the partition wall between the same and beyond a distance of sixty (60) feet, more or less, to a point at line now or late of the The General Eldership of the Churches of God in North America; thence in a Northerly direction along the line of the land last mentioned fifteen (15) feet, more or less, to the Southern line of premises Number 109 Linden Street; thence in a westerly direction along the division line between premises Number 109 Linden Street and the property herein conveyed and through the middle of the partition wall between the same, a distance of sixty (60) feet more or less, to a

point on the Eastern line of Linden Street; and thence in a Southerly direction along the Eastern line of Linden Street, a distance of fifteen (15) feet, more or less, to the place of BEGINNING.

TOGETHER with the use of a three (3) feet wide private alley in the rear of property Numbers 105 and 107 Linden Street and with the right to use the three (3) feet wide private alley along the southern side of premises Number 105 Linden Street in common with the owners and occupiers of other properties abutting thereon.

THE ABOVE DESCRIBED REAL ESTATE is the same which Dauphin County Tax Claim Bureau, by Order dated August 2, 2010 and recorded on September 2, 2010 in the Office of the Recorder of Deeds in and for Dauphin County, Pennsylvania, 20100025485, conveyed unto Building, LLC.

SUBJECT, however, to all existing rights of way, conditions, easements, restrictions, reservations, rights, agreements, notes and other matters of record to the extent valid and enforceable and still applicable to the above-described premises.

UNDER AND SUBJECT TO coal and mining rights and all rights and privileges incident to the mining of coal heretofore conveyed, excepted, or reserved by instruments of record; the right of surface, lateral, or subjacent support; or any surface subsidence; oil and gas and minerals and all rights incident to the extraction or development of oil and gas or minerals heretofore conveyed, leased, excepted, or reserved by instruments of record; and all easements, rights of way, and restrictions as contained in prior instruments of record and/or as installed or located on the premises and all other matters of record appearing prior hereto.

TO HAVE AND TO HOLD the same to and for the use of the said Grantees, their heirs, and assigns forever, and the Grantors for their heirs and assigns hereby covenant and agree that they will specially warrant title to the property hereby conveyed.

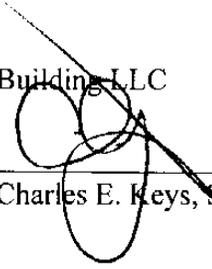
NOTICE: THIS DOCUMENT MAY NOT/DOES NOT SELL, CONVEY, TRANSFER, INCLUDE, OR INSURE THE TITLE TO THE COAL AND RIGHT OF SUPPORT UNDERNEATH THE SURFACE LAND DESCRIBED OR REFERRED TO HEREIN, AND THE OWNER OR OWNERS OF SUCH COAL MAY HAVE/HAVE THE COMPLETE LEGAL RIGHT TO REMOVE ALL OF SUCH COAL AND, IN THAT CONNECTION, DAMAGE MAY RESULT TO THE SURFACE OF THE LAND AND ANY HOUSE, BUILDING, OR OTHER STRUCTURE ON OR IN SUCH LAND. THE INCLUSION OF THIS NOTICE DOES NOT ENLARGE, RESTRICT, OR MODIFY ANY LEGAL RIGHTS OR ESTATES OTHERWISE CREATED, TRANSFERRED, EXCEPTED, OR RESERVED BY THIS INSTRUMENT. [This notice is set forth in the manner provided in Section 1 of the Act of July 17, 1957, P.L. 984, as amended, and is not included as notice of unrecorded instruments, if any.]

THE SCRIVENER OF THIS INDENTURE David R. Breschi, Esquire/Breschi & Associates, LLC is in no way certifying to the status of the title of the above premises, and has not searched the records pertaining thereto.

IN WITNESS WHEREOF, the party of the first part has/have hereunto set his hand and seal.
Dated the day and year first above written.

**Sealed and Delivered
In the Presence of Us:**

Building LLC


Charles E. Keys, Sole member

Witness

State of Pennsylvania
County of Dauphin

This record was acknowledged before me on this 10th day of February, 2021 by Charles E. Keys, Sole member of Building LLC.

~~Commonwealth of Pennsylvania - Notary Seal
Michelle L. McClung, Notary Public
Cumberland County
My commission expires December 30, 2022
Commission number 1194670
Member, Pennsylvania Association of Notaries~~


Notary Public
My Commission Expires 12.30.22

Commonwealth of Pennsylvania - Notary Seal
Michelle L. McClung, Notary Public
Cumberland County
My commission expires December 30, 2022
Commission number 1194670
Member, Pennsylvania Association of Notaries

The precise residence and the complete post office address of the above-named Grantee is:
4704 Richmond Street
Philadelphia PA 19137



On behalf of the Grantee

James M. Zugay, Esq.
Recorder of Deeds
(717) 780-6560

Candace E. Meck
First Deputy



Location:
Dauphin County Courthouse
Room 102
Front & Market Streets
Harrisburg, PA 17101

Recorder of Deeds

Harrisburg, Pennsylvania

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INSTRUMENT #: 20210006282
RECORD DATE: 2/25/2021 2:10:16 PM
RECORDED BY: CWASINGER
DOC TYPE: DEED HBG
AGENT: INGED
DIRECT NAME: BUILDING LLC
INDIRECT NAME: RADON, GREGORY

ACT 8 OF 1998: \$5.00

COMMONWEALTH OF PA: \$55.00
MUNICIPALITY: \$27.50 HARRISBURG CITY
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AOPC: \$40.25
AFFORDABLE HOUSING: \$13.00

DEMOLITION: \$15.00

UPICount: 1
UPIFee: 20
UPIList: 08-025-037-000-0000

I Certify This Document To Be Recorded
In Dauphin County, Pennsylvania.



James M. Zugay, Recorder of Deeds

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Eric Papenfuse, Mayor

PLANNING BUREAU CASE REPORT

Variance & Special Exception Application: 100 North 13th Street; 112 North 13th Street; and 109-119½ Linden Street

PROPERTY ADDRESS: 100 North 13 th Street; 112 North 13 th Street; 109-119½ Linden Street	APPLICANT: Gregory Radon w/ Radon Construction	APPLICANT STATUS: Owner
PID: 08-025-050; 08-025-049; 08-025-036 through -029	ZONING: Residential Medium-Density (RM)	HPC DATE: January 6, 2021
ZHB CASE #: 2470	ZHB DATE: January 25, 2021	SITE VISIT DATE(S): April 1, 2021
HISTORIC DISTRICT: Summit Terrace Architectural Conservation Overlay District	FLOODPLAIN: Zone X (No Floodplain)	SUBMISSION DATE: December 4, 2020

REQUEST:

The Applicant is proposing to establish a 12-unit, “Multifamily Dwelling” use with accompanying access and site improvements. The proposed use and the request for relief from the off-street parking requirements require Special Exception approvals, and the encroachment of the proposed parking area into the front and rear yard setbacks, as well as relief from the parking lot landscaping requirements, require Variance approvals per the regulations in Chapter 7-307 of the Zoning Code.

PROPERTY DESCRIPTION:

The project site is comprised of ten parcels totaling 0.36 acres. Nine of the lots are vacant; the only property that features any existing development is at 100 North 13th Street, which is a 0.20-acre lot with a two-story, 11,580-square-foot, brick structure which was constructed in 1922 (per the City’s Historic Preservation Specialist). The project site is generally bounded by 121 Linden Street and 114 North 13th Street to the north, North 13th Street to the east, Walnut Street to the south, and Linden Street to the west.

The former Center Printing Press (formerly the Church of God Central Publishing House) building was designed by Frank Fahnstock and constructed by Shoemaker & Son; the building is currently abandoned and has been so for several decades. This two-story, detached brick structure is an unusual early example of the Art Deco architectural style with Spanish Mission

style and gothic revival motifs. Character-defining features include: the original brick façade; a plain, symmetric, front facade featuring decorative motifs; decorative brick designs within the facade; a loading dock area on the Walnut Street elevation; and a roof line and geometrical design elements which are typical of the Art Deco style. The main entryway on North 13th Street projects out from the façade, is emphasized by buttresses and a semi-circular coping design, and features simple wooden double doors beneath a boarded-up, arched transom and a sign identifying it as the “Central Publishing House.” There is a secondary pedestrian entrance and a vehicular loading area accessed from Walnut Street. Although, many of the windows are boarded up, fenestration primarily consists of casement-type windows, that originally had metal-framed glass panels and metal frames which were lost to rust; the windows also feature decorative flat arches and a belt course above the second-story windows. The structure is topped with a flat rubber roof. The project site also includes adjacent vacant parcels to the north and west. The industrial/ institutional structure is unique in a neighborhood which primarily features single-family attached rowhomes with scattered commercial and industrial uses. Although determined to be not eligible for listing on the National Register of Historic Places, the building is an important cultural resource for the neighborhood and contributes to the overall character of the streetscape and the neighborhood; the project will allow the building to be a contributing resource once again.

**SPECIAL EXCEPTION REQUIREMENTS
PER CHAPTER 7-323 OF THE ZONING CODE:**

- 1. The Board shall determine that the minimum requirements of this Code as set forth in Section 7-323.6 have been met.**

The Zoning Hearing Board may grant Special Exception approval for the establishment of a “Multifamily Dwelling” in the Residential Medium-Density (RM) zoning district, per Section 7-305.7 of the Zoning Code, subject to the criteria listed below. The Planning Bureau notes that the units will be all be one bedroom and will range in size from 504 square feet to 752 square feet.

The Zoning Hearing Board may grant a Special Exception for relief from the off-street parking requirements, per 7-327.8 of the Zoning Code, if certain criteria can be met. Per Section 7-327.6 of the Zoning Code, the twelve-unit, “Multifamily Dwelling” use would require thirteen (13) off-street parking spaces. The Applicants are proposing to create twelve (12) parking spaces for the use; thus, they are requesting relief from one (1) off-street parking space. The Bureau notes that the proposed parking lot design does not feature the requisite landscaping screening; the Bureau is recommending that two of the proposed off-street spaces be removed to accommodate the required landscape screening around the parking area, which would result in a project that would need to request relief from three (3) off-street parking spaces.

With respect to meeting the criteria in the Zoning Code, the Planning Bureau notes that the Applicant will be constructing an accessory surface parking lot to provide the majority of the required off-street parking. Additionally, the Bureau notes that the building in which the residential units will be created sits on a corner lot with a substantial amount of frontage on adjacent streets which could accommodate parking for some residents or visitors, and that removal of the curb cut providing access to a loading area from Walnut Street (this area will be converted to a pedestrian entrance, per the submitted plans) could introduce at least one new,

publicly-available, on-street parking space. Finally, there are three CAT bus routes that run nearby along either State Street or Walnut Street, with a significant number of routes running through the nearby Market Street/13th Street intersection. The Bureau also notes that since the units are intended to be “affordable” (although the application does not specify what the monthly rent would be), it may be the residents will be less likely to own a personal vehicle. In the interest of having a more visually attractive site, the Bureau would recommend that two of the off-street spaces be removed so that landscaping can enclose the parking area; this would result in the Applicant having to request relief from three (3) off-street parking spaces.

2. The Board shall find that the use, structure, or action authorized by the special permit will not be contrary to the preservation of the general character of the neighborhood involved.

With respect to the proposed use, the Applicant has stated:

“A Special Exception for change of use: Chris Dawson Architect is working w/ developer Greg Radon on the rehabilitation of this vacant 11,500 SF industrial warehouse building dating to 1940 at the corner of Walnut & 13th Streets in an effort to add 12 affordable housing units to the Harrisburg housing market.”

With respect to the existing use, the Applicant has stated:

“Vacant. Former industrial warehouse building.”

The Planning Bureau notes that the property has been unoccupied for approximately two decades, and that this vacancy has resulted in the significant deterioration of the property, which has created an attractive nuisance that has resulted in some vandalism. Thus, the rehabilitation of this structure for most adaptive reuse proposals would be a benefit to the neighborhood. The project will ensure the continued integrity and maintenance of an architecturally- and historically-important structure. Additionally, the project will bring additional, quality residential units which are in demand both in the neighborhood specifically and the city generally; the Applicant has indicated that the units would be “affordable...to the Harrisburg housing market,” which would meet another need for residents (although they have not indicated how “affordable” is defined). Finally, the Bureau notes that while there are not many examples of “Multifamily Dwellings” in the neighborhood, there are a number of non-conforming industrial and commercial operations in the surrounding area, and this project will have significantly less impact than those uses. Given the above, the Bureau believes this project would bring significant benefits to the community.

3. The Board shall duly consider the following factors, as appropriate:

- (A) ingress and egress to property and existing and proposed structures thereon, with particular attention paid to automotive and pedestrian safety and convenience; traffic generation, flow and control relative to existing and future vehicular capacity or nearby public rights of way; and access in case of fire, flood or other catastrophe;**

The Applicant has stated:

“There is currently no vehicular access onto the property. Proposed plans include utilizing neighboring sites already owned to create off-site parking and vehicular access.”

The Planning Bureau notes that there is no parking on the site of the principal structure – although there is vehicular access to a loading area off of Walnut Street, which will be converted to a pedestrian entrance as part of the project – but that adjacent lots along Linden Street included in the overall development will accommodate twelve (12) proposed off-street parking spaces. These spaces will be accessed from Linden Street, which is a narrow, two-way street, and will have a pedestrian path to the proposed apartment building.

Pedestrian access will be improved as part of the project, not just on the subject property, but in the surrounding rights-of-way as well. The project proposes the conversion of the existing loading area to a secondary building access for residents and visitors. Additionally, as part of the overall work on-site, the Applicant will be required to repair or replace missing or deteriorated sidewalks in areas fronting their property.

(B) off-street parking and loading areas where required, with particular attention paid to the factors in paragraph (A) above and the noise, glare, odor, or traffic effects of the special exception on adjoining properties and properties generally in the neighborhood;

The Applicant has stated:

“There are currently no off-street parking spaces on the property. Proposed plans include utilizing neighboring site already owned to create 13 off-site parking spaces.”

The Planning Bureau notes that Section 7-327.6 of the Zoning Code requires one (1) off-street parking space per unit and one (1) space for each five (5) units for guest parking; by this criterion, the Applicant would be required to have thirteen (13) off-street parking spaces. The Applicant is proposed to construct a twelve (12)-unit accessory parking lot, accessed from Linden Street, to accommodate the requirements. However, the Bureau notes that this design necessitates encroachment into required yard setbacks and does not leave room for the requisite vegetative screening that improves the appearance of the property and reduces glare from headlights into neighboring properties. As such, the Bureau is recommending that the Applicant remove two proposed spaces, which allows the installation of the required screening and obviates the three Variances the project otherwise requires.

(C) refuse and service areas;

The Planning Bureau notes that the Applicant did not mention refuse concerns in their application, but that the Department of Public Works (DPW) does issue refuse bins by the number of units on-site. Thus, if the Applicant is granted approval of the request by the Zoning Hearing Board, they will need to work with DPW to determine the appropriate refuse needs for the structure. It is presumed that a dumpster would be located within the accessory parking lot to be constructed along Linden Street, although it may be the case that a dumpster and/or refuse bins could be stored along the Walnut Street side of the property. In either case, the Applicant should consider a location that enables the most efficient storage and collection of refuse.

(D) utilities, with reference to locations, availability, and compatibility;

The Planning Bureau notes that the Applicant has not addressed this aspect of the project; however, should the Applicant receive approval, it is likely they will ensure that all necessary utilities – water, sewer, gas, electrical, and telecommunications – would be connected to the building in a satisfactory manner. The Bureau notes that should this project receive the requisite zoning relief, a Lot Consolidation & Land Development Plan would still be required, through which a more comprehensive consideration of utilities will be undertaken.

(E) screening and other buffering with reference to type, dimensions and character;

The Applicant has stated:

“Yes – proposed fencing for new off-street parking area.”

The Planning Bureau notes that the Applicant has referenced proposed fencing to enclose the off-street parking lot on Linden Street; however, the Applicant has not provided specific information related to the height or material of the proposed fencing, so the Bureau is unsure of whether the fencing will be in conformance with the Zoning Code. Additionally, the Bureau notes that the landscaping requirements in Section 7-307.11(c) of the Zoning Code indicate that “any fencing shall be placed on the inside of any landscaped or plant screen area;” thus, the Applicant will still be required to provide vegetative screening around the perimeter of the fence. The Applicant has filed a Variance to request relief from the parking lot screening requirements, but this aspect of the proposal is not being supported by the Bureau. Additionally, the Bureau notes that the accessory parking lot will be slightly more than 3,000 square feet, and will thus be required to plant a tree on-site or in the surrounding public rights-of-way.

(F) signs, if any, and existing and proposed exterior lighting with reference to glare, traffic safety and compatibility and harmony with properties in the neighborhood;

The Planning Bureau notes that the Applicant has not addressed this aspect of the project; however, because the project is entirely residential in nature, it is unlikely that there would be significant signage outside of address numbers and perhaps a project nameplate. The Bureau notes that any signage on the primary property (100 North 13th Street) would not require HARB review, as other aspects of the project required, because that property is not located in the Summit Terrace ACOD.

(G) required yards, setbacks and other open space;

The Applicant has stated:

“N/A.”

The Planning Bureau notes that this project does, in fact, need to meet the applicable Development Standards for the RM district, given that all the parcels that comprise the project site are located in that district, and because the project will involve the construction of a new parking area and screening along Linden Street. The proposed parking area along Linden Street will be constructed in both the front yard setback (technically, behind the buildings fronting

North 13th Street) and the rear yard setback (along Linden Street); thus, Variance approvals are required for relief from both aspects of the Zoning Code.

(H) size, bulk, use, and general character of a proposed building, structure, expansion, or enlargement in relation to adjacent properties and the neighborhood generally;

The Planning Bureau notes that the request primarily addresses the fully-interior conversion of an existing structure, although an accessory parking lot to accommodate the required off-street parking will be constructed as part of the proposal. The proposed parking area does require some additional zoning relief – although the recommendation of the Bureau to remove to spaces will obviate the Variance requests associated with that aspect. Additionally, the existing structure is fully detached and will rehabilitate an historic, deteriorated building that has become an eyesore and an attractive nuisance, so there should be minimal adverse impacts on adjacent properties.

(I) other factors, if any, which have a bearing on the compatibility of the special exception with adjacent properties and the neighborhood generally.

With respect to whether the proposal involves a public safety hazard, the Applicant has stated: “No.”

With respect to whether the proposal will comply with the Environmental Performance Standards in Chapter 7-331, the Applicant has stated:

“Yes”

With respect to the establishment of a business, the Applicant has stated:

“N/A”

With respect to the impact on the character of the neighborhood, the Applicant has stated:

“No.”

The Planning Bureau notes that the request primarily addresses the fully-interior conversion of an existing structure into a “Multifamily Dwelling,” although there will be additional developmental aspects of the project. The primary focus – the rehabilitation of a deteriorating historic building – will be a significant benefit to the community by removing an eyesore and providing twelve housing units, which the Applicant has stated will be “affordable.” Additionally, the project will mitigate concerns about the impact on on-street parking by providing an off-street parking lot accessed from Linden Street and, potentially, creating more on-street spaces through the removal of a loading dock curb cut.

If any exterior lighting is proposed as part of this project (if approval is granted), the Planning Bureau notes that such lighting would have to conform to the Environmental Performance Standards.

**VARIANCE REQUIREMENTS PER SECTION 7-323.7
OF THE PA MUNICIPALITIES PLANNING CODE:**

- 1. There are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the unnecessary hardship is due to such conditions and not the circumstances or conditions generally**

created by the provisions of the zoning ordinance in the neighborhood or district in which the property is located.

The Applicant has stated:

“Variance for encroachment of the parking area into rear and front yard setbacks. Variance from relief from the landscaping requirements for parking lots outlined in Section 7-307.12”

The Planning Bureau notes that the Applicant has only outlined the Variances they are requesting and not actually identifying any conditions that necessitate or justify these requests. As outlined elsewhere in this case report, the Bureau notes that the Applicant could obviate all three Variance requests if they removed two off-street parking spaces (resulting in ten of the required thirteen off-street parking spaces), and used the resulting space to relocate the parking lot footprint out of the setback areas and to install the requisite plant screening around the lot.

While this would increase the intensity of the Special Exception request for relief from the off-street parking requirements, the Bureau notes that the removal of the curb cut for the loading zone off Walnut Street will provide at least one additional on-street spot. The Bureau likewise notes that the primary parcel on the project site fronts two streets on which residents or visitors can park for easy access to the building entrances. Finally, the Bureau notes that the property is within a couple blocks of three CAT routes, and is fairly close to a significant number of additional routes that run along Market Street nearby. The Bureau believes that the additional two spaces would not impose a hardship on the existing community residents or businesses.

Given the above, the Bureau feels that the Applicant should remove two spaces from the proposed off-street parking area to obviate the Variance requests and include a plant screening around the perimeter of the lot.

- 2. That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the zoning ordinance and that the authorization of a variance is therefore necessary to enable the reasonable reuse of the property.**

The Applicant has stated:

“Yes, at the expense of the off street parking count.”

As noted above, the proposed off-street parking area can be developed without the need for Variance relief from aspects of the Development Standards, although it would increase the intensity of the Special Exception request for relief from the off-street parking requirements. The Planning Bureau also notes that the Applicant owns parcels to the north of where the proposed parking lot ends, and that it might be possible to install additional parking in this area as well (which would allow the property to be in conformance with all aspects of the Zoning Code except the use), although the Bureau would prefer that these parcels be utilized for a better purpose, such as housing, a community garden, or stormwater management.

3. That such unnecessary hardship has not been created by the appellant.

The Applicant has stated:

“No, the Applicant is working hard towards the best outcome (renovating a blighted building to create affordable housing & associated parking).”

As noted above, the Applicant could redesign the parking lot footprint to obviate the Variance relief requests (although it would exacerbate the Special Exception relief request), or could expand the parking lot to the north. The Planning Bureau supports the former approach for reasons previously mentioned, and notes that the latter approach may preclude the Applicant from developing the land to the north in the future for a higher and better use, such as housing or a community benefit.

4. The variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located, nor substantially or permanently impair the appropriate use or development of adjacent property, nor be detrimental to the public welfare.

The Applicant has stated:

“NO”

The Planning Bureau notes that the Variance requests are related to relatively minor issues, including encroachment of development into front and rear setback areas on a block that is current vacant land, as well as a proposal to not install required landscape screening. In the Bureau’s opinion, none of the Variance requests, if approved, would significantly impair the use of adjacent properties or the overall general public welfare. The Bureau does note that the location of the proposed off-street parking area and proximity to surrounding residential buildings may result in headlight spillover into adjacent properties; while the Applicant is proposing the installation of a fence which would address this issue, the Bureau feels that requiring the vegetative landscaping is important to having the project improve the overall appearance of the neighborhood.

5. The variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

The Applicant has stated:

“YES”

The Planning Bureau notes that the current design envisions the parking lot encroaching into most of the front yard setback (behind the buildings fronting North 13th Street) and the rear yard setback (along Linden Street); this design provides nearly the required off-street parking. In this sense, the Variance requests related to the Development Standards in Section 7-307.3 represent the minimum needed to afford relief. This design also means that it is difficult to provide space for the required landscape screening around the perimeter of the parking area, whether the project includes a fence or not. However, even if approval of the setback encroachment is

approved, there is still space to install plant screening to the north and south of the parking lot, and the Bureau believes that should be required at a minimum.

PLANNING BUREAU RECOMMENDATION:

Approval with Conditions

Planning Bureau staff recommends the request be **Approved** with the following condition(s):

1. If granted approval for the requested zoning relief, the Applicant will subsequently file a Lot Consolidation & Land Development Plan and receive approval from the Planning Commission and City Council.
2. The Applicant will submit a Certificate of Appropriateness (COA) application and receive approval from HARB for the proposed parking area and fencing, which is located in the Summit Terrace Architectural Conservation Overlay District (ACOD).
3. The Applicant will coordinate with the Department of Public Works to confirm the appropriate size and location of refuse collection on-site, and update the billing accounts to reflect the new use.
4. The Planning Bureau recommends that the proposed parking area be reduced by two spaces to create room for the required vegetative screening, and potentially handle stormwater management on-site; while the Applicant has indicated that a fence will screen the parking lot, the Zoning Code requires vegetative screening be installed on the outside of the fence. The Bureau also notes that if the required tree is not planted on-site, it can be planted in a tree pit in the surrounding rights-of-way.
5. The Planning Bureau recommends that the Applicant install the requisite bike racks near the proposed entrance from Walnut Street; if possible, the Bureau would recommend that the Applicant consider a secure, indoor bike storage area, since the building will not be equipped with elevators.

Planning Bureau staff recommends the request be **Approved** for the following reason(s):

1. The subject property is a unique industrial structure which has been vacant for a couple decades and experienced significant blight over that time, as well as small lots which have been vacant for at least a decade; any project that can productively reuse the property will provide a significant aesthetic improvement for the neighborhood.
2. The Applicant has expressed an intention to provide twelve affordable apartment units; more quality, affordable housing options are a pressing need not only in the neighborhood but throughout the city in general, and the provision of more housing units will help to combat rising housing costs.
3. If the recommendations of the Planning Bureau are adopted, the three Variance requests necessitated by the project design can be obviated while providing a more attractive development for residents of the surrounding community.

REVIEW PROCESS:

1. Planning Bureau review of application and development of case report with recommendation to Harrisburg Planning Commission (HPC).
2. Harrisburg Planning Commission review of application and recommendation to Zoning Hearing Board (ZHB).

STAFF REPORT – 100 North 13th Street, Variance & Special Exception Request

April 7, 2021 HPC Meeting

Page 10

3. Harrisburg Zoning Hearing Board review of application and final decision.
4. Applicant submission of Lot Consolidation & Land Development Plan (LC & LDP) and Planning Bureau review of application and development of case report with recommendation to Harrisburg Planning Commission (HPC).
5. Harrisburg Planning Commission review of LC & LDP application and recommendation to the City Council.
6. City Council review of LC & LDP application and final decision.
7. Submittal of Building Permit application to the Codes Bureau for any proposed work.
8. Codes Bureau inspections of work being performed.

ATTACHMENTS:

1. Zoning & Location Map
2. Variance & Special Exception Application
3. Project Plan Set:
 - a. Cover Sheet
 - b. Code Review Requirements
 - c. Floor & Elevation Demo Plans
 - d. Site Plan
 - e. Proposed Floor & Elevation Plans
 - f. Project Details
4. Notification Letter (dated March 24, 2021) & Proof of Mailing
5. Property Deeds



**Zoning & Location Map
100-112 North 13th Street &
109-119½ Linden Street**



Eric Papenfuse, Mayor

**RESOLUTION
OF
HARRISBURG PLANNING COMMISSION**

100 North 13th Street

VARIANCE & SPECIAL EXCEPTION REQUESTS

The Applicant is proposing to establish a 12-unit, “Multifamily Dwelling” use with accompanying access and site improvements. The proposed use and the request for relief from the off-street parking requirements require Special Exception approvals, and the encroachment of the proposed parking area into the front and rear yard setbacks, as well as relief from the parking lot landscaping requirements, require Variance approvals per the regulations in Chapter 7-307 of the Zoning Code.

PROPERTY DESCRIPTION

The project site is comprised of ten parcels totaling 0.36 acres. Nine of the lots are vacant; the only property that features any existing development is at 100 North 13th Street, which is a 0.20-acre lot with a two-story, 11,580-square-foot, brick structure which was constructed in 1922 (per the City’s Historic Preservation Specialist). The project site is generally bounded by 121 Linden Street and 114 North 13th Street to the north, North 13th Street to the east, Walnut Street to the south, and Linden Street to the west.

The former Center Printing Press (formerly the Church of God Central Publishing House) building was designed by Frank Fahnestock and constructed by Shoemaker & Son; the building is currently abandoned and has been so for several decades. This two-story, detached brick structure is an unusual early example of the Art Deco architectural style with Spanish Mission style and gothic revival motifs. Character-defining features include: the original brick façade; a plain, symmetric, front facade featuring decorative motifs; decorative brick designs within the facade; a loading dock area on the Walnut Street elevation; and a roof line and geometrical design elements which are typical of the Art Deco style. The main entryway on North 13th Street projects out from the façade, is emphasized by buttresses and a semi-circular coping design, and features simple wooden double doors beneath a boarded-up, arched transom and a sign identifying it as the “Central Publishing House.” There is a secondary pedestrian entrance and a vehicular loading area accessed from Walnut Street. Although, many of the windows are boarded up, fenestration primarily consists of casement-type windows, that originally had metal-framed glass panels and metal frames which were lost to rust; the windows also feature decorative flat

arches and a belt course above the second-story windows. The structure is topped with a flat rubber roof. The project site also includes adjacent vacant parcels to the north and west. The industrial/ institutional structure is unique in a neighborhood which primarily features single-family attached rowhomes with scattered commercial and industrial uses. Although determined to be not eligible for listing on the National Register of Historic Places, the building is an important cultural resource for the neighborhood and contributes to the overall character of the streetscape and the neighborhood; the project will allow the building to be a contributing resource once again.

SPECIAL EXCEPTION REQUIREMENTS

Minimum Requirements of the Code

The Zoning Hearing Board may grant Special Exception approval for the establishment of a "Multifamily Dwelling" in the Residential Medium-Density (RM) zoning district, per Section 7-305.7 of the Zoning Code, subject to the criteria listed below. The Planning Bureau notes that the units will be all be one bedroom and will range in size from 504 square feet to 752 square feet.

The Zoning Hearing Board may grant a Special Exception for relief from the off-street parking requirements, per 7-327.8 of the Zoning Code, if certain criteria can be met. Per Section 7-327.6 of the Zoning Code, the twelve-unit, "Multifamily Dwelling" use would require thirteen (13) off-street parking spaces. The Applicants are proposing to create twelve (12) parking spaces for the use; thus, they are requesting relief from one (1) off-street parking space. The Bureau notes that the proposed parking lot design does not feature the requisite landscaping screening; the Bureau is recommending that two of the proposed off-street spaces be removed to accommodate the required landscape screening around the parking area, which would result in a project that would need to request relief from three (3) off-street parking spaces.

With respect to meeting the criteria in the Zoning Code, the Planning Bureau notes that the Applicant will be constructing an accessory surface parking lot to provide the majority of the required off-street parking. Additionally, the Bureau notes that the building in which the residential units will be created sits on a corner lot with a substantial amount of frontage on adjacent streets which could accommodate parking for some residents or visitors, and that removal of the curb cut providing access to a loading area from Walnut Street (this area will be converted to a pedestrian entrance, per the submitted plans) could introduce at least one new, publicly-available, on-street parking space. Finally, there are three CAT bus routes that run nearby along either State Street or Walnut Street, with a significant number of routes running through the nearby Market Street/13th Street intersection. The Bureau also notes that since the units are intended to be "affordable" (although the application does not specify what the monthly rent would be), it may be the residents will be less likely to own a personal vehicle. In the interest of having a more visually attractive site, the Bureau would recommend that two of the off-street spaces be removed so that landscaping can enclose the parking area; this would result in the Applicant having to request relief from three (3) off-street parking spaces.

Neighborhood Character

With respect to the proposed use, the Applicant has stated: "A Special Exception for change of use: Chris Dawson Architect is working w/ developer Greg Radon on the rehabilitation of this

vacant 11,500 SF industrial warehouse building dating to 1940 at the corner of Walnut & 13th Streets in an effort to add 12 affordable housing units to the Harrisburg housing market.” With respect to the existing use, the Applicant has stated: “Vacant. Former industrial warehouse building.”

The Planning Bureau notes that the property has been unoccupied for approximately two decades, and that this vacancy has resulted in the significant deterioration of the property, which has created an attractive nuisance that has resulted in some vandalism. Thus, the rehabilitation of this structure for most adaptive reuse proposals would be a benefit to the neighborhood. The project will ensure the continued integrity and maintenance of an architecturally- and historically-important structure. Additionally, the project will bring additional, quality residential units which are in demand both in the neighborhood specifically and the city generally; the Applicant has indicated that the units would be “affordable...to the Harrisburg housing market,” which would meet another need for residents (although they have not indicated how “affordable” is defined). Finally, the Bureau notes that while there are not many examples of “Multifamily Dwellings” in the neighborhood, there are a number of non-conforming industrial and commercial operations in the surrounding area, and this project will have significantly less impact than those uses. Given the above, the Bureau believes this project would bring significant benefits to the community.

Ingress & Egress

The Applicant has stated: “There is currently no vehicular access onto the property. Proposed plans include utilizing neighboring sites already owned to create off-site parking and vehicular access.”

The Planning Bureau notes that there is no parking on the site of the principal structure – although there is vehicular access to a loading area off of Walnut Street, which will be converted to a pedestrian entrance as part of the project – but that adjacent lots along Linden Street included in the overall development will accommodate twelve (12) proposed off-street parking spaces. These spaces will be accessed from Linden Street, which is a narrow, two-way street, and will have a pedestrian path to the proposed apartment building.

Pedestrian access will be improved as part of the project, not just on the subject property, but in the surrounding rights-of-way as well. The project proposes the conversion of the existing loading area to a secondary building access for residents and visitors. Additionally, as part of the overall work on-site, the Applicant will be required to repair or replace missing or deteriorated sidewalks in areas fronting their property.

Off-Street Parking & Loading

The Applicant has stated: “There are currently no off-street parking spaces on the property. Proposed plans include utilizing neighboring site already owned to create 13 off-site parking spaces.”

The Planning Bureau notes that Section 7-327.6 of the Zoning Code requires one (1) off-street parking space per unit and one (1) space for each five (5) units for guest parking; by this criterion, the Applicant would be required to have thirteen (13) off-street parking spaces. The

Applicant is proposed to construct a twelve (12)-unit accessory parking lot, accessed from Linden Street, to accommodate the requirements. However, the Bureau notes that this design necessitates encroachment into required yard setbacks and does not leave room for the requisite vegetative screening that improves the appearance of the property and reduces glare from headlights into neighboring properties. As such, the Bureau is recommending that the Applicant remove two proposed spaces, which allows the installation of the required screening and obviates the three Variances the project otherwise requires

Refuse & Service Areas

The Planning Bureau notes that the Applicant did not mention refuse concerns in their application, but that the Department of Public Works (DPW) does issue refuse bins by the number of units on-site. Thus, if the Applicant is granted approval of the request by the Zoning Hearing Board, they will need to work with DPW to determine the appropriate refuse needs for the structure. It is presumed that a dumpster would be located within the accessory parking lot to be constructed along Linden Street, although it may be the case that a dumpster and/or refuse bins could be stored along the Walnut Street side of the property. In either case, the Applicant should consider a location that enables the most efficient storage and collection of refuse.

Utilities

The Planning Bureau notes that the Applicant has not addressed this aspect of the project; however, should the Applicant receive approval, it is likely they will ensure that all necessary utilities – water, sewer, gas, electrical, and telecommunications – would be connected to the building in a satisfactory manner. The Bureau notes that should this project receive the requisite zoning relief, a Lot Consolidation & Land Development Plan would still be required, through which a more comprehensive consideration of utilities will be undertaken.

Screening & Buffering

The Applicant has stated: “Yes – proposed fencing for new off-street parking area.”

The Planning Bureau notes that the Applicant has referenced proposed fencing to enclose the off-street parking lot on Linden Street; however, the Applicant has not provided specific information related to the height or material of the proposed fencing, so the Bureau is unsure of whether the fencing will be in conformance with the Zoning Code. Additionally, the Bureau notes that the landscaping requirements in Section 7-307.11(c) of the Zoning Code indicate that “any fencing shall be placed on the inside of any landscaped or plant screen area;” thus, the Applicant will still be required to provide vegetative screening around the perimeter of the fence. The Applicant has filed a Variance to request relief from the parking lot screening requirements, but this aspect of the proposal is not being supported by the Bureau. Additionally, the Bureau notes that the accessory parking lot will be slightly more than 3,000 square feet, and will thus be required to plant a tree on-site or in the surrounding public rights-of-way.

Signage

The Planning Bureau notes that the Applicant has not addressed this aspect of the project; however, because the project is entirely residential in nature, it is unlikely that there would be significant signage outside of address numbers and perhaps a project nameplate. The Bureau

notes that any signage on the primary property (100 North 13th Street) would not require HARB review, as other aspects of the project required, because that property is not located in the Summit Terrace ACOD.

Yards, Setbacks & Open Space

The Applicant has stated: “N/A.”

The Planning Bureau notes that this project does, in fact, need to meet the applicable Development Standards for the RM district, given that all the parcels that comprise the project site are located in that district, and because the project will involve the construction of a new parking area and screening along Linden Street. The proposed parking area along Linden Street will be constructed in both the front yard setback (technically, behind the buildings fronting North 13th Street) and the rear yard setback (along Linden Street); thus, Variance approvals are required for relief from both aspects of the Zoning Code.

Building Character

The Planning Bureau notes that the request primarily addresses the fully-interior conversion of an existing structure, although an accessory parking lot to accommodate the required off-street parking will be constructed as part of the proposal. The proposed parking area does require some additional zoning relief – although the recommendation of the Bureau to remove to spaces will obviate the Variance requests associated with that aspect. Additionally, the existing structure is fully detached and will rehabilitate an historic, deteriorated building that has become an eyesore and an attractive nuisance, so there should be minimal adverse impacts on adjacent properties.

Other Factors

With respect to whether the proposal involves a public safety hazard, the Applicant has stated: “No.” With respect to whether the proposal will comply with the Environmental Performance Standards in Chapter 7-331, the Applicant has stated: “Yes.” With respect to the establishment of a business, the Applicant has stated: “N/A.” With respect to the impact on the character of the neighborhood, the Applicant has stated: “No.”

The Planning Bureau notes that the request primarily addresses the fully-interior conversion of an existing structure into a “Multifamily Dwelling,” although there will be additional developmental aspects of the project. The primary focus – the rehabilitation of a deteriorating historic building – will be a significant benefit to the community by removing an eyesore and providing twelve housing units, which the Applicant has stated will be “affordable.” Additionally, the project will mitigate concerns about the impact on on-street parking by providing an off-street parking lot accessed from Linden Street and, potentially, creating more on-street spaces through the removal of a loading dock curb cut.

If any exterior lighting is proposed as part of this project (if approval is granted), the Planning Bureau notes that such lighting would have to conform to the Environmental Performance Standards.

VARIANCE REQUIREMENTS

Unique Physical Circumstances Peculiar to the Property:

The Applicant has stated: “Variance for encroachment of the parking area into rear and front yard setbacks. Variance from relief from the landscaping requirements for parking lots outlined in Section 7-307.12”

The Planning Bureau notes that the Applicant has only outlined the Variances they are requesting and not actually identifying any conditions that necessitate or justify these requests. As outlined elsewhere in this case report, the Bureau notes that the Applicant could obviate all three Variance requests if they removed two off-street parking spaces (resulting in ten of the required thirteen off-street parking spaces), and used the resulting space to relocate the parking lot footprint out of the setback areas and to install the requisite plant screening around the lot.

While this would increase the intensity of the Special Exception request for relief from the off-street parking requirements, the Bureau notes that the removal of the curb cut for the loading zone off Walnut Street will provide at least one additional on-street spot. The Bureau likewise notes that the primary parcel on the project site fronts two streets on which residents or visitors can park for easy access to the building entrances. Finally, the Bureau notes that the property is within a couple blocks of three CAT routes, and is fairly close to a significant number of additional routes that run along Market Street nearby. The Bureau believes that the additional two spaces would not impose a hardship on the existing community residents or businesses.

Given the above, the Bureau feels that the Applicant should remove two spaces from the proposed off-street parking area to obviate the Variance requests and include a plant screening around the perimeter of the lot.

Necessary for Reasonable Reuse of the Property:

The Applicant has stated: “Yes, at the expense of the off street parking count.”

As noted above, the proposed off-street parking area can be developed without the need for Variance relief from aspects of the Development Standards, although it would increase the intensity of the Special Exception request for relief from the off-street parking requirements. The Planning Bureau also notes that the Applicant owns parcels to the north of where the proposed parking lot ends, and that it might be possible to install additional parking in this area as well (which would allow the property to be in conformance with all aspects of the Zoning Code except the use), although the Bureau would prefer that these parcels be utilized for a better purpose, such as housing, a community garden, or stormwater management.

Hardship not Created by the Applicant:

The Applicant has stated: “No, the Applicant is working hard towards the best outcome (renovating a blighted building to create affordable housing & associated parking).”

As noted above, the Applicant could redesign the parking lot footprint to obviate the Variance relief requests (although it would exacerbate the Special Exception relief request), or could expand the parking lot to the north. The Planning Bureau supports the former approach for

reasons previously mentioned, and notes that the latter approach may preclude the Applicant from developing the land to the north in the future for a higher and better use, such as housing or a community benefit.

Essential Character of the Neighborhood:

The Applicant has stated: “NO”

The Planning Bureau notes that the Variance requests are related to relatively minor issues, including encroachment of development into front and rear setback areas on a block that is current vacant land, as well as a proposal to not install required landscape screening. In the Bureau’s opinion, none of the Variance requests, if approved, would significantly impair the use of adjacent properties or the overall general public welfare. The Bureau does note that the location of the proposed off-street parking area and proximity to surrounding residential buildings may result in headlight spillover into adjacent properties; while the Applicant is proposing the installation of a fence which would address this issue, the Bureau feels that requiring the vegetative landscaping is important to having the project improve the overall appearance of the neighborhood.

The Applicant has stated the following concerning whether this will represent the minimum variance to afford relief:

The Applicant has stated: “YES”

The Planning Bureau notes that the current design envisions the parking lot encroaching into most of the front yard setback (behind the buildings fronting North 13th Street) and the rear yard setback (along Linden Street); this design provides nearly the required off-street parking. In this sense, the Variance requests related to the Development Standards in Section 7-307.3 represent the minimum needed to afford relief. This design also means that it is difficult to provide space for the required landscape screening around the perimeter of the parking area, whether the project includes a fence or not. However, even if approval of the setback encroachment is approved, there is still space to install plant screening to the north and south of the parking lot, and the Bureau believes that should be required at a minimum.

DISCUSSION

Mr. Knight gave a synopsis of the report, recommending Approval with Conditions; the conditions were that:

1. If granted approval for the requested zoning relief, the Applicant will subsequently file a Lot Consolidation & Land Development Plan and receive approval from the Planning Commission and City Council.
2. The Applicant will submit a Certificate of Appropriateness (COA) application and receive approval from HARB for the proposed parking area and fencing, which is located in the Summit Terrace Architectural Conservation Overlay District (ACOD).
3. The Applicant will coordinate with the Department of Public Works to confirm the appropriate size and location of refuse collection on-site, and update the billing accounts to reflect the new use.

4. The Planning Bureau recommends that the proposed parking area be reduced by two spaces to create room for the required vegetative screening, and potentially handle stormwater management on-site; while the Applicant has indicated that a fence will screen the parking lot, the Zoning Code requires vegetative screening be installed on the outside of the fence. The Bureau also notes that if the required tree is not planted on-site, it can be planted in a tree pit in the surrounding rights-of-way.
5. The Planning Bureau recommends that the Applicant install the requisite bike racks near the proposed entrance from Walnut Street; if possible, the Bureau would recommend that the Applicant consider a secure, indoor bike storage area, since the building will not be equipped with elevators.

The case was represented by Gregory Radon with Radon Construction (the property owner), 4704 Richmond Street, Philadelphia, PA 19137; and Chris Dawson with Chris Dawson Architect (the property architect), 300 North 2nd Street, Suite 701, Harrisburg, PA 17101 (aka “the Applicants”).

Commissioner Alsberry asked the Applicants whether the conditions in the case report were acceptable; they confirmed that they were. Commissioner Alsberry asked whether the Applicants had anything to add to the case report; they noted that they had been coordinating with Planning Bureau staff over the previous few months, and that they intended on getting approval from the Planning Commission and Zoning Hearing Board for the requisite zoning relief, before developing a final site plan for the project. They noted that they had been working on the design for about a year, and were excited to move forward with adaptively reusing a blighted property.

Commissioner Alsberry noted that he had observed the building over the years and was not able to understand why it hadn't been developed; he stated that he was pleased to hear the Applicants' proposal. He stated that he was interested in hearing the Applicants' approach to off-street parking, and how the lot would be developed. He stated that the neighborhood was very congested with respect to parking.

Commissioner Alsberry asked whether any of the commissioners had comments or concerns about the project. Commissioner McKissick stated that he felt the Applicants' submission was logical and well-presented. He inquired regarding the condition of the interior of the property; the Applicants stated that the roof was in very good shape and confirmed that a previous property owner had recently replaced the rubber roof.

Commissioner O'Toole stated that he felt it was as good project, and state that he would be supporting the proposal.

Commissioner Marek stated that she was happy to see the building being reused and felt that the Applicants had taken a great approach to revitalizing the site.

Commissioner Monnier noted that his employer (Habitat for Humanity) had once owned the property and stated that he was pleased to see the adaptive reuse proposal.

Commissioner Alsberry asked whether there was anyone from the public that was for or against the project; Ms. Baldock gave instruction to the public in attendance on how to request to be unmuted so they could provide comment. There were no comments.

Commissioner Alsberry reiterated his support for the project, noting that he hadn't realized how long the building had been vacant, and requested clarification on the project's approach to addressing parking, additionally inquiring as to whether the proposed parking was to be located on the same block. The Applicants confirmed that the proposed parking would be located to the northwest of the building, and asked Planning Bureau staff whether they could share the proposed site plan on their screen. Mr. Knight brought up the site plan and confirmed that the proposed parking area fronted Linden Street to the northwest of the principal building on-site; he noted that there would be pedestrian access from the parking area to the building via internal sidewalks. Mr. Knight noted that the proposed parking lot had one point of ingress and egress, and confirmed that it would include the required ADA parking space.

Mr. Knight noted that the final proposed lot was larger than just the building and parking area, and noted that the size of the property, once consolidated into a single lot, would allow the by-right establishment of twelve units on-site. Commissioner Alsberry requested confirmation that traffic would access the property only through Linden Street; Mr. Knight confirmed that was the case, noting that Linden Street was bidirectional and that Linden Street could be accessed by either Calamus Street or Walnut Street. He also confirmed that there was no on-street parking along Linden Street.

Commissioner McKissick inquired as to the plan for the remaining vacant land just north of the proposed parking area. The Applicants stated that they did not have a definite plan, but that it might provide room for a development in the future. They also stated that their current proposal would only require relief from one off-street parking space, but that the Planning Bureau's recommendation would require them to seek relief from three off-street parking spaces.

Commissioner McKissick asked the Planning Bureau staff which spaces they would recommend removing; Mr. Knight stated that he would remove one space from each side of the parking lot, which would allow the footprint of the parking lot to be removed from the setback areas and create space for the required landscaping screening, which would obviate the Variance requests that the project otherwise required. He also noted that the project would replace the loading dock area along Walnut Street with a pedestrian entrance, meaning that the curb cut could be removed and at least one additional on-street space established as part of the project.

Commissioner McKissick asked whether the Planning Bureau wanted to see the landscaping around the parking lot. Mr. Knight confirmed that the proposed parking lot had limited aesthetic value and that he wanted to ensure the project was as attractive for the neighborhood as possible. He noted that the location of the proposed parking lot was also in the Summit Terrace Architectural Conservation Overlay District (ACOD), which was something of an historic district-lite designation, and thus that component of the project would require HARB review. Mr. Knight stated that the Board would likely not require decorative fencing, but would require the vegetative screening.

Commissioner Alsberry asked the Applicants whether they spoke to any of the local residents or the local neighborhood association; they responded that they had not. Commissioner Alsberry stated that he knew an active neighborhood association was in the project area. Mr. Knight confirmed that the Summit Terrace Neighborhood Association was still active and that he had contact information for an individual associated with that group. Commissioner Alsberry asked Planning Bureau staff to provide that information to the Applicants. The Applicants stated that they were looking forward to having that meeting once approvals were in place.

Commissioner Monnier moved, and Commissioner Marek seconded the motion, to Approve the request with Staff Conditions. The motion was adopted by a unanimous vote (6-0).

RESOLUTION

WHEREAS, the Harrisburg Planning Commission reviewed the request at its regularly scheduled meeting on April 7, 2021, pursuant to the provisions of Section 910.2 of the Pennsylvania Municipalities Planning Code, as reenacted and as amended, and pursuant to the provisions of Chapter 7-323 of the Planning and Zoning Code, and heard testimony from the Applicants, and the report of the Planning Commission staff, which is attached hereto and made a part hereof.

NOW, THEREFORE, BE IT RESOLVED that the Harrisburg Planning Commission recommends, by a unanimous vote (6-0), that the Harrisburg Zoning Hearing Board **Approve** the request with the following condition(s):

1. If granted approval for the requested zoning relief, the Applicant will subsequently file a Lot Consolidation & Land Development Plan and receive approval from the Planning Commission and City Council.
2. The Applicant will submit a Certificate of Appropriateness (COA) application and receive approval from HARB for the proposed parking area and fencing, which is located in the Summit Terrace Architectural Conservation Overlay District (ACOD).
3. The Applicant will coordinate with the Department of Public Works to confirm the appropriate size and location of refuse collection on-site, and update the billing accounts to reflect the new use.
4. The Planning Bureau recommends that the proposed parking area be reduced by two spaces to create room for the required vegetative screening, and potentially handle stormwater management on-site; while the Applicant has indicated that a fence will screen the parking lot, the Zoning Code requires vegetative screening be installed on the outside of the fence. The Bureau also notes that if the required tree is not planted on-site, it can be planted in a tree pit in the surrounding rights-of-way.
5. The Planning Bureau recommends that the Applicant install the requisite bike racks near the proposed entrance from Walnut Street; if possible, the Bureau would recommend that the Applicant consider a secure, indoor bike storage area, since the building will not be equipped with elevators.

NOW, THEREFORE, BE IT RESOLVED that the Harrisburg Planning Commission recommends, by a unanimous vote (6-0), that the Harrisburg Zoning Hearing Board **Approve** the request for the following reason(s):

1. The subject property is a unique industrial structure which has been vacant for a couple decades and experienced significant blight over that time, as well as small lots which have been vacant for at least a decade; any project that can productively reuse the property will provide a significant aesthetic improvement for the neighborhood.
2. The Applicant has expressed an intention to provide twelve affordable apartment units; more quality, affordable housing options are a pressing need not only in the neighborhood but throughout the city in general, and the provision of more housing units will help to combat rising housing costs.
3. If the recommendations of the Planning Bureau are adopted, the three Variance requests necessitated by the project design can be obviated while providing a more attractive development for residents of the surrounding community.

This is to certify that the foregoing Resolution is a true and correct copy of the Resolution adopted by the Harrisburg Planning Commission on the 7th day of April, 2021.



Geoffrey Knight, Executive Secretary

HEARING NOTICE

The Harrisburg Zoning Hearing Board will hold a hearing at 6:00 PM via Zoom (public access instructions posted below) on:

April 19, 2021

In reference to Case No. 2470 a request for:

Variance & Special Exception Applications for 100-112 North 13th Street & 109-119½ Linden Street, zoned Residential Medium-Density (RM), filed by Gregory Radon with Radon Construction, to establish a 12-unit, “Multifamily Dwelling” use on-site, to request relief from the off-street parking requirements, and to request relief from several aspects of the Development Standards relating to the accessory off-street parking area.

Interested parties are invited to join the hearing by telephone by dialing **+1 301 715 8592**; when/if prompted, enter the following information: Meeting ID: **818 2933 3632**; Password: **20214321**. The public may also join via Zoom by going to <https://us02web.zoom.us/j/81829333632>; when/if prompted, enter the following information: Password: 20214321. Related information may be obtained by contacting the Planning Bureau at 717-255-6637.

The **Harrisburg Planning Commission** will also review the application on **April 7, 2021 at 6:30 PM** via Zoom. Interested parties are invited to join the HPC meeting by telephone and express their views by dialing +1 301 715 8592; when/if prompted, enter the following information: Meeting ID: 818 2933 3632; Password: 2021. The public may also join via Zoom by going to <https://us02web.zoom.us/j/86419428588>; when/if prompted, enter the following information: Password: 20214321.

Eric Papenfuse
Mayor

Harrisburg City Council

Posted On: April 1, 2021



Housing Bureau
717-255-6419

Planning Bureau
717-255-6637

Parks & Recreation
717-255-3020

April 16, 2021

Gregory Radon
Radon Construction
4704 Richmond Street
Philadelphia, PA 19137

Re: April 19, 2021 – Zoning Hearing Board Meeting
100 North 13th Street – Variance & Special Exception Applications

Mr. Radon:

Enclosed is the agenda of the Harrisburg Zoning Hearing Board for their regularly scheduled meeting on April 19, 2021 at 6:00 PM via the Zoom meeting platform. We will be emailing you a Zoom meeting link and instructions as we get closer to the meeting date, so please ensure you are regularly reviewing your email account. Your Variance and Special Exception requests will be reviewed at this time. **The owner or an authorized representative should attend this meeting in order for the Zoning Hearing Board to take action on the application.**

If you should have any questions, please feel free to contact me at 717-255-6637 or by email at gknight@harrisburgpa.gov.

Sincerely,

A handwritten signature in black ink, appearing to read "Geoffrey Knight", is written over a light blue horizontal line.

Geoffrey Knight
Planning Director